



## OGDEN VALLEY PLANNING COMMISSION

### MEETING AGENDA

**November 30, 2021**

**4:30 p.m.**

- **Pledge of Allegiance**
- **Roll Call:**

1. **Minutes:** September 28, 2021; October 5, 2021

#### **Petitions, Applications, and Public Hearings:**

2. **Administrative items**

**2.1 CUP 2021-17** – Consideration and action on a conditional use request to install a public utility substation at 7582 E 900 S, Huntsville, UT, 84317, in the FV-3 zone. **Present Tammy Aydelotte**

**2.2 CUP2021-19** - Consideration and/or action on a conditional use permit for short-term rental use at 3563 N Lakeview Court, Eden, UT 84310, The Village at Wolf Creek 1st Amendment, Lot 80. **Presenter Felix Lleverino**

**2.3 UVB050721:** Consideration and action on a request for preliminary approval of The Basin Subdivision located at approximately 947 E Old Snow Basin Road, and an application for alternative access. **Presenter Steve Burton, Applicant Todd Myers**

#### **Petitions, Applications, and Public Hearings:**

3. **Legislative Items**

**3.1 ZMA 2021-05** – Public Hearing to consider and take action on a rezone request from F-40 to FR-3 on 37 acres, property located at approx. 5793 North Powder Mountain Road, Eden. **Presenter Steve Burton**

**3.2 ZMA 2021-07** – Public Hearing to consider and take action on a rezone request from AV-3 to CV-2 on 5 acres, property located at approx. 4708 E 2650 N, Eden, UT. **Presenter Steve Burton, Applicant Jeffrey Allen**

**3.3 ZTA 2021-09** – Public Hearing to consider and take action on a county driven request to amend the Stream Corridor Sensitive Lands Ordinance, to exempt certain lots from setback requirements. **Presenter Steve Burton**

4. **Public Comment for Items not on the Agenda:**

5. **Remarks from Planning Commissioners:**

6. **Planning Director Report:**

7. **Remarks from Legal Counsel:**

**Adjourn**

***The regular meeting will be held in person at the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.***

& Via Zoom Video Conferencing at <https://us02web.zoom.us/j/85774900400> Meeting ID: 857 7490 0400

**A Pre-Meeting will be held at 4:30 p.m.** The agenda for the pre-meeting consists of discussion of the same items listed above, on the agenda for the meeting. No decisions are made in the pre-meeting, but it is an open, public meeting.

***In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8761***

## Meeting Procedures

### Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

### Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

### Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

### Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

### Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

### Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

## Commenting at Public Meetings and Public Hearings

### Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

### Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

### Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record will be left with the Planning Commission.

### Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.

Minutes of the Work Session of the Ogden Valley Planning Commission for September 28, 2021. To join the meeting, please navigate to the following weblink at, <https://us02web.zoom.us/j/85297024137>, the time of the meeting, commencing at 5:00 p.m.

**Ogden Valley Planning Commissioners Present:** Chair John Lewis, Chair; Shanna Francis, Vice Chair; Commissioners Jeff Burton, John (Jack) Howell, Trevor Shuman, and Justin Torman.

**Absent/Excused:** Commissioner Lackey

**Staff Present:** Charlie Ewert, Principal Planner; Scott Perkes, Planner; Courtlan Erickson, Legal Counsel; Marta Borchert, Office Specialist.

- **Pledge of Allegiance**
- **Roll Call:**

Chair Lewis asked if anyone had any ex parte communication or conflict of interest to declare. No disclosures were made.

## 1. Petitions, Applications, and Public Hearings.

### 1.1 CUP2021-15: Consideration and/or action on a conditional use permit for short-term rental use at 4819 E 3925 N, Eden, UT 84310. Staff Presenter: Felix Lleverino

Planner Lleverino reported the applicant is requesting approval of a conditional use permit for short-term use in a residential dwelling located in the FR-3 zone. The proposed use will occur within an existing dwelling. As such, there is no design review required. The applicant has submitted a project narrative detailing their intended use of their property as a short-term rent the property. This narrative also indicates that Mr. Brady Jeppsen, who is hired to manage the rental, will address issues that may arise from noise, security, parking, and garage use. The applicant has also submitted a parking exhibit. This application is being processed for an administrative review through the Ogden Valley Planning Commission as directed by the approval procedures outlined in LUC §108-4-3. This section of code indicates that a review of a conditional use permit application is intended to verify compliance with applicable ordinances and provide appropriate and reasonable mitigation of anticipated detrimental effects.

The subject property is located within the Forest Residential (FR-3) Zone. The purpose of the FR-3 Zone can be further described in LUC §104-17-1 as follows:

*“The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent homeownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.”*

The FR-3 Zone allows for a “nightly rental” as a conditional use. For comparison purposes, the FR-3 Zone also allows similar conditional uses such as condo-tels, group dwellings, lockout sleeping rooms, multi-family dwellings, timeshare buildings, and recreational lodges.

**Conditional Use Review:** A review process and use standards have been outlined in LUC §108-4 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The conditional use standards are as follows:

- 1) Standards relating to safety for persons and property
- 2) Standards relating to infrastructure, amenities, and services
- 3) Standards relating to the environment
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan
- 5) Standards relating to performance (bonds, agreements)
- 6) Standards generally (economy, other applicable LUC standards)
- 7) Voluntary contributions providing satisfactory compliance with applicable standards

**Nightly Rental Ordinance:** Under the current land-use code, §108-7-25 titled ‘Nightly Rentals’, states the following:

*The rental of a sleeping room, apartment, dwelling unit, or dwelling for a time period of less than 30 days is considered a nightly rental. Nightly rentals are allowed only when listed as either a permitted or conditional use in a specific zone or when approved as part of a planned residential unit development (PRUD).*

Staff offers the following analysis following review of the application against the conditional use standards:

- 1) Standards relating to safety for persons and property.
  - Apart from the Fire Marshal's review and conditions, the operation of a short-term rental is not anticipated to cause safety hazards to persons or property.
- 2) Standards relating to infrastructure, amenities, and services.
  - The parking infrastructure for visitors includes one "comfortable" parking spaces in the garage, two parking spaces on the driveway, and one parking space in the guest parking area directly across from the front yard. The members of an operational HOA enforce the parking requirements. It is Staff's opinion that parking should be limited to the garage and driveway. A condition related to staff's opinion is within the staff recommendation.
- 3) Standards relating to the environment.
  - Staff does not anticipate any detrimental effects on the natural features of the site or surrounding areas.
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan.
  - The current FR-3 zoning anticipates short-term rental use and the area has been developed for resort and lodging purposes. As such, staff does not anticipate the proposed use to be detrimental to the characteristics of the area. The zoning is consistent with the General Plan.
- 5) Standards relating to performance (bonds, agreements).
  - There is an existing dwelling, with a sufficient parking area. No performance bonds or agreements are necessary for the proposed use.
- 6) Standards generally (economy, other applicable LUC standards).
  - The proposed use is not anticipated to have detrimental effects on the local economy.
  - Before issuance of a conditional use permit, the applicant will need to apply for, and be issued with, a business license.
- 7) Voluntary contributions providing satisfactory compliance with applicable standards.
  - There are no voluntary contributions that are offered with this request.

Based on the staff analysis and the findings listed below, staff recommends approval of this conditional use application. This recommendation is subject to the applicant meeting the conditions of approval listed below and any other conditions required by reviewing agencies and the Planning Commission:

1. There is a ten-person limit in non-sprinklered dwelling units. A fire-extinguisher shall be left in plain sight. Carbon monoxide and smoke detectors are required.
2. A business license shall be obtained before the issuance of this conditional use permit.
3. The dwelling's attached garage shall be made available to the guests. Visitor parking is limited to the two-car garage and the two-car driveway.

The following findings are the basis for the staff's recommendation:

1. The proposed use is allowed in the FR-3 Zone and meets the appropriate site development standards.
2. The criteria for issuance of a conditional use permit have been met because mitigation of reasonably anticipated detrimental effects can be accomplished.

There was brief discussion among the Commission and Mr. Lleverino regarding communication from the Homeowners Association (HOA) for the subdivision regarding short term rentals; Mr. Lleverino indicated he is aware that the HOA Board has taken action to prevent any future short-term rentals in the subdivision, but the subject property has been grandfathered under previous bylaws of the HOA. Planning Director Grover clarified that the County has no authority to enforce HOA bylaws or covenants, conditions, and restrictions (CCRs) for this project; the Commission should consider whether the application should be approved according to the land use laws and conditional use guidelines for Weber County. HOA denial of a land use that is permitted by the County would become a civil matter between the applicant and the HOA.

Commissioner Torman then addressed the availability of water and whether there is sufficient water to serve the project and this subject property as a short-term rental. Mr. Grover stated that water, and other utilities, are subject to life, health, and safety matters and the service providers have indicated that there is sufficient water available to the project and the subject property.

It would be very difficult to deny approval of a conditional use permit based on concerns about insufficient water when the service provider has indicated there is sufficient water.

Chair Lewis then invited public input.

Allen Elliott stated he is President of the Fairway Oaks HOA, and the HOA Board is very concerned about the number of short-term rentals that are being allowed in the area. There are at least 1,000 short term rentals in the valley, but only a portion of them have secured a conditional use permit from the County. He is concerned about the amount of water available to supply these uses, which will place a greater demand on water resources. The development was designed to be a single-family project in nature and use of individual units as short-term rentals do not meet the definition of a single-family unit. Residents have noticed that the people staying at these homes changes on a very regular basis and these contribute to safety concerns. He is concerned about the County's inability to enforce the conditions placed on short term rentals and that enforcement may fall to the HOA, which will increase the costs paid by the HOA and will be overly burdensome.

There were no additional persons appearing to be heard.

Commissioner Burton stated he is concerned about denying a conditional use permit application based upon HOA bylaws; however, he would like to pursue including language in the ordinance governing short term rentals that would allow the County to rely upon HOA bylaws when making a decision on a conditional use permit application. Commissioner Howell agreed. Mr. Grover stated he can pass that recommendation on to the County Commission.

Commissioner Howell moved to approve CUP2021-15, conditional use permit for short-term rental use at 4819 E. 3925 N., Eden, based on the findings and subject to the conditions listed in the staff report. Commissioner Torman seconded the motion. Commissioners Lewis, Francis, Burton, Howell, Shuman, and Torman all voted aye. (Motion carried 6-0).

**1.2 UVW06062021: Request for a recommendation of final approval of Westwood Homestead Subdivision, consisting of four lots and road dedication along 1900 North St. Staff Presenter: Tammy Aydelotte.**

Planner Aydelotte reported there are no requirements to be fulfilled prior to receiving a recommendation of final approval from the Planning Commission. All conditions of approval listed in this staff report will be required prior to recording the final plat.

General Plan: The request is in conformance with the Ogden Valley General Plan, as the property is being platted under the existing 3-acre zoning.

Zoning: The subject property is located in the FV-3 Zone. Single-family dwellings are a permitted use in the FV-3 Zone.

Culinary water and sanitary sewage disposal: Well permits, and septic feasibility for each lot, have been issued by Weber Morgan Health Department, in response to a requested Order of the State Engineer.

Secondary water by private well. The applicant has indicated that a portion of the water share for each lot, from Weber Basin, will be utilized for irrigation purposes. If homeowners wish to increase their landscaped area, they may have access to the irrigation shares owned by the developer, from Middle Fork Irrigation Co. This irrigation water is located within the subdivision boundaries and will be relocated along the western boundary of lots 1 and 2 within the proposed subdivision.

This application was submitted prior to the recent changes to the Weber County Land Use Code (Culinary and secondary water requirements) were adopted in July of this year.

Review Agencies: To date, the proposed subdivision has been reviewed by the Planning Division, Engineering Division, and Surveyor's Office along with the Weber Fire District. All review agency requirements must be addressed and completed prior to this subdivision being recorded.

Tax Clearance: There are no outstanding tax payments related to these parcels. The 2021 property taxes are not considered due at this time but will become due in full on November 30, 2021.

Staff recommends final approval of Westwood Homestead Subdivision, consisting of four lots located at approximately 1900 N 7800 E, Eden. This recommendation includes road dedication along 1900 North Street and is subject to all review agency requirements prior to recording of the subdivision, and the following conditions:

1. The proposed access shall comply with safety, design, and parcel/lot standards as outlined in LUC
2. An alternative access covenant, per the approval for an alternative access dated 10/28/2020, shall be recorded with the final plat.
3. An onsite wastewater disposal covenant shall be recorded with the final plat.
4. A private well covenant to be recorded with the final plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Ogden Valley General Plan.
2. The proposed subdivision complies with applicable county ordinances.

Discussion among the Commission, Ms. Aydelotte, and Legal Counsel centered briefly on changes that have been made to the County’s LUC since the application was initially filed; Legal Counsel Erickson noted that the applicant is entitled to have his application reviewed according to the land use regulations that were in effect when his application was filed.

Chair Lewis invited public input. There were no persons appearing to be heard.

Commissioner Burton moved to approve UVW06062021, final approval of Westwood Homestead Subdivision, consisting of four lots and road dedication along 1900 North Street, based on the findings and subject to the conditions listed in the staff report, and clarifying that the application conforms to the version of the LUC that was in effect at the time that the application was initially filed. Commissioner Shuman seconded the motion. Commissioners Lewis, Francis, Burton, Howell, Shuman, and Torman all voted aye. (Motion carried 6-0).

Commissioner Shuman asked if the applicant will drill all wells in the project, to which Ms. Aydelotte answered yes.

**2. Public Comment for Items not on the Agenda**

There were no public comments.

**3. Remarks from Planning Commissioners**

Commissioner Howell referenced the following items:

- A recently built storage unit project and indicated that the fencing and landscaping elements have not been completed.
- A new restaurant, Mad Moose, has a great deal of outdoor storage onsite and it should be fenced or stored elsewhere.
- Has a solar panel code been developed?
- Does the County have an ordinance governing lunch wagons?

Mr. Grover indicated he will check on the issues raised about the storage unit project and the Mad Moose restaurant; he noted a solar panel code has not been developed yet and the County does not have an ordinance governing lunch wagons.

Vice Chair Francis stated she is very interested in exploring the matter of observing HOA regulations for projects; she does not want to create problems between property owners and their HOA by approving a certain use that may be prohibited by the HOA. Chair Lewis stated he is supportive of that matter being investigated.

Commissioner Torman suggested that the Commission be provided with a refresher training regarding the types of things that the Commission should be considering when acting on a conditional use permit application; he specifically expressed concern about parking concerns for certain conditional use applications. There was a brief focus on components of a project that could contribute to life/safety concerns, with Mr. Grover noting that the conditional use permit can be approved if certain issues can be mitigated. Legal Counsel Erickson summarized the section of State Code that governs conditional uses; the County’s conditional

use ordinance has been crafted to essentially mirror State Law; the Commission can deny a conditional use permit if certain issues cannot be reasonably mitigated. The Commission should ask for credible evidence that a certain detrimental effect cannot be substantially mitigated before denying a conditional use permit. An action to deny such an application should include clear findings about why the detrimental effects cannot be mitigated.

Commissioner Burton asked if the County has a noise ordinance. Mr. Grover answered there is not a specific noise ordinance, but law enforcement has the ability to regulate certain things that could be defined as disturbing the peace. He noted that noise could be considered in the Commission's evaluation of a conditional use permit.

**4. Planning Director Report**

Mr. Grover indicated he had nothing additional to report.

**5. Remarks from Legal Counsel**

Mr. Erickson indicated he had nothing additional to report.

**Meeting Adjourned: The meeting adjourned at 5:41 p.m.  
Respectfully Submitted,**

\_\_\_\_\_  
**Weber County Planning Commission**

Minutes of the Work Session of the Ogden Valley Planning Commission for October 5, 2021. To join the meeting, please navigate to the following weblink at, <https://us02web.zoom.us/j/81220479623>, the time of the meeting, commencing at 5:00 p.m.

**Ogden Valley Planning Commissioners Present:** Chair John Lewis, Chair; Shanna Francis, Vice Chair; Commissioners Jeff Burton, John (Jack) Howell, Ron Lackey, and Justin Torman.

**Absent/Excused:** Commissioner Trevor Shuman

**Staff Present:** Charlie Ewert, Principal Planner; Scott Perkes, Planner; Courtlan Erickson, Legal Counsel; Marta Borchert, Office Specialist.

- **Pledge of Allegiance**
- **Roll Call:**

Chair Lewis asked if anyone had any ex parte communication or conflict of interest to declare. No disclosures were made.

### 1. Approval of Minutes for August 3, 2021.

Commissioner \_\_\_\_\_ moved to approve the minutes of the August 3, 2021 meeting as presented. Commissioner \_\_\_\_\_ seconded the motion. Commissioners Lewis, Francis, Burton, Howell, Lackey, and Torman all voted aye. (Motion carried 6-0).

### 2. Public Comment for Items not on the Agenda

Ron Gleeson discussed North Fork Park and its dark sky accreditation from the National Dark Sky Association. Since North Fork Park accreditation, 10 more parks have received the accreditation, making Utah the 'most dark place' in the United States. There is a small group of residents that work with the County's recreation division to preserve the accreditation. A book, [The Starry Sky Adventure](#) has been published and North Fork Park is the first park recognized; he provided a copy of the book and a thank you letter to Planning Director Grover and noted that he is appreciative of the County's ongoing support. Chair Lewis thanked Mr. Gleeson for all that he does for the County and to promote dark sky initiatives.

### 3. Remarks from Planning Commissioners

There were no additional remarks from Planning Commissioners.

### 4. Planning Director Report

Mr. Grover indicated he had nothing additional to report.

### 5. Remarks from Legal Counsel

Mr. Erickson indicated he had nothing additional to report.

### WS1: Snowbasin Development Discussion.

Jim Hill, Vice President of Development for Grand America Hotel and Resorts, discussed his role as the owner's representative for the Snowbasin development project. This will be a very large and long running project and he introduced representatives of other development partners in the project, after which he invited the Commission and Planning staff to participate in a site visit at Snowbasin on October 20 to become more familiar with the project. He has submitted an application for a development agreement amendment, and he hopes that will be heard on October 26. He then discussed the broader master plan for the development, noting phase one would be completed by 2024. He presented a village concept plan, which includes new base area lifts, increased learning terrain, residential development, expansion of dining and shopping amenities, and additional overnight accommodations. Phase one of the project specifically includes new and improved base area lifts, ridgeline terrain and snowmaking, expanded base area village, a new hotel, expanded parking, and infrastructure upgrades. The development agreement amendment application seeks inclusion of the two concept plan images including the improvements cited for areas A, B, F, and G. The group is also seeking flexibility to handle the evolution of master plans for the multiple phases of the development



in areas A, B, F, and G and removal of limitations on commercial density including hotels and ski areas; there is a 150-hotel room density cap, but the plans include up to three different hotels in the project, so removal of this cap would be appropriate.

High level discussion among the Commission and Mr. Hill and his group centered on specific changes to the long-term master plan since the last discussion of the project in 2016; there was a brief focus on the potential site of a five-star hotel, inclusion of a golf course, sewer utility improvements, and the most important components of the plan to make the Snowbasin project economically successful. Mr. Hill thanked the Commission for their attention this evening and stated he looks forward to continued discussion of the development agreement amendment on October 26.

Planning Director Grover polled the Commission to determine their availability for a field trip to Snowbasin on October 20.

**WS1: Discussion regarding the Eden Village Zone.**

Principal Planner Ewert stated that staff is planning a public hearing for October 26 for consideration of a recommendation to the County Commission regarding the Eden Village Zone. The purpose of this action is to create small area plans for defined areas of the Valley. The proposed Eden Village Mixed-Use zone requires street front buildings to have a façade that has specific architecture, materials, and colors. The Old Town Eden area will have street front façades with architecture, materials, and colors that resemble western main street buildings from the late 1890s to the early 1910s. Currently, the blacksmith shop and the general store meet these requirements with either brick or wood fronts that hide gable roofs and provide other important architectural detail. The New Town Eden area will have agrarian style buildings, resembling historic barns that will also have specific architectural detail. The public streets in these areas will be wide enough to support spacious pedestrian sidewalks (approximately 14 feet), bike lanes (approximately five feet), and on street parking (either angled or parallel). Traffic calming measures including street trees and intersection bulb outs will be required. The width of drive lanes will be the county public works standard of 12 feet. The plan is to develop a walkable community that includes multi-modal transportation opportunities. Staff is seeking feedback from the Commission either tonight or on October 26 regarding the street cross-section renderings, alleyways, and design standards for buildings.

High level discussion among the Commission centered on topics such as pursuing design that conforms with existing buildings in the area; piping open waterways in conjunction with street improvements; and concerns about the design standards in the proposed ordinance impeding private property owner rights.

Mr. Ewert concluded staff will advertise the public hearing scheduled for the October 26 meeting to ensure that residents in the area that will be part of the Eden Village Zone are aware of staff's proposal and have the opportunity to provide input.

**Meeting Adjourned: The meeting adjourned at 5:41 p.m.  
Respectfully Submitted,**

\_\_\_\_\_  
**Weber County Planning Commission**



Conditional Use Review: A review process has been outlined in LUC §108-4-3 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The following is an analysis of the application reviewed against the applicable conditional use standards:

- *Standards relating to safety for persons and property:* The proposal is not anticipated to cause any concerns of safety for persons and property. This lot has a shared/cross access agreement with UDOT (see Exhibit C) with improvement requirements, along with those outlined in LUC 108-7-29:
  - (1) *“The flag lot access strip, private right-of-way, or access easement shall be designed and built to a standard approved by the county engineer. The improved road surface does not require hard-surface paving, i.e., concrete or asphalt, but the improvements shall meet the following standards.*
  - (2) *The flag lot access strip shall have a minimum width of 20 feet and a maximum width of 30 feet. A private right-of-way or access easement shall have a minimum width of 16 feet and a maximum width of 50 feet. The private right-of-way and access easement width standards may be modified by the Weber Fire District in conjunction with the county engineer on a case-by-case basis.*
  - (3) *The improved travel surface of the flag lot access strip, private right-of-way, or access easement shall be a minimum of 12 feet wide if the access serves fewer than five dwellings, and a minimum of 20 feet wide if the access serves five or more dwellings.*
  - (4) *The improved road surface of the flag lot access strip, private right-of-way, or access easement shall be capable of supporting a minimum weight of 75,000 pounds.*
  - (5) *A turnout measuring at least ten feet by 40 feet shall be provided adjacent to the traveled surface of the a flag lot access strip, private right-of-way, or access easement (private access) if the private access is greater than 200 feet in length. The turnout shall be located at the approximate midpoint of the private access if its length is between 200 and 800 feet. If the private access length is greater than 800 feet, turnouts shall be provided at least every 400 feet thereafter. These standards may be modified by the Weber Fire District in conjunction with the county engineer on a case-by-case basis.”*
- *Standards relating to infrastructure, amenities, and services:* The proposed amendment will improve communication services to residents in the area.
- *Standards relating to the environment:* The proposed amendment is not anticipated to negatively impact the environment. The proposed structure is to be located approximately 160' from the front lot boundary. The height of the proposed structure will be 10'1", and have a footprint of 192 square feet. The exterior will have an access door facing the front of the lot, and access to the lot will utilize a shared drive located to the west of this parcel.
- *Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan:* The proposal is for a minimal structure, and will have landscaping requirements. Noise will be present when the backup generator comes on in the event of a power outage, or during weekly testing. The included enclosure of the generator is intended to quiet the noise level significantly (See page one of the engineered plans – Exhibit B).
- *Standards relating to architectural, landscape, and screening standards: LUC 108-2-3: Applicability. The architectural, landscape and screening design standards, as set forth in this chapter, shall only apply to the following: 1. All commercial, and public or quasi-public uses, except park facilities.*

LUC 108-2-4: The following architectural standards shall apply to the exterior of new and remodeled structures:

1. *“Color. External surfaces shall be predominantly natural, muted earth tones. White may only be used as an accent color. The roof of an addition to an existing structure, when matching existing colors, shall be exempt.*
2. *Exposed fronts and street sides of buildings. Exposed fronts and street sides of buildings shall be constructed of non-reflective materials and shall be textured concrete, brick, stone and/or natural wood/wood-like materials. Concrete masonry units or block CMUs shall not be considered acceptable materials unless it is specially colored and textured to give an appearance of natural rough stone. Vinyl and/or aluminum siding shall not be acceptable.*
3. *Glass. Use of glass for displays and to allow visual access to interior spaces shall be allowed. Mirrored glazing is prohibited on any building. Tinted or solar absorption glazing may be used.*
4. *Exposed metal. Exposed metal shall be painted, stained, or anodized in permitted colors and shall be non-reflective. Copper, brass and wrought iron may remain untreated and allowed to develop a natural patina.*

5. *Metal windows. Metal as a window framing support or mounting material shall be painted, stained, anodized or vinyl-clad in approved colors.*
6. *Architectural detail. Architectural detail shall be provided at focal points on all building facades, such as doorways, balconies, roof overhangs and dormers, such that monotonous horizontal lines greater than 50 feet do not occur."*

**The proposed structure meets this section of Weber County Land Use Code (See Exhibit C).**

LUC 108-2-5: Minimum Standards and Guidelines: General Landscaping

A minimum of 20% of the site disturbance area shall have some form of landscaping, while a minimum of 80% of the landscaped area shall be living plant materials.

The applicant is planning a bit of xeriscape elements, along with drought-tolerant plant material

"(d) Minimum planting areas of at least five feet in width shall be provided **along the sides and rear** of the building except where service areas, docks and entrance points are located.

...

(g) All areas within the site which are not occupied by the primary and accessory uses, structures or parking areas, shall also be landscaped. This includes future expansion areas for either building or parking, except that the living plant material requirement of part

(a) of this section shall be waived if replaced with mulch underlaid with industrial-grade weed barrier."

Review Agencies: Weber Fire District and Engineering have approved of the proposed conditional use permit amendment without conditions.

### Staff Recommendation

The Planning Division recommends approval of file# CUP 2021-17. This recommendation for approval is subject to all review agency requirements, and subject to the following conditions:

1. Landscaping shall be installed or escrowed for prior to final approval of the structure.
2. Per the UDOT shared/cross access easement, the ingress/egress shall be improved to follow design standards in LUC 108-7-29, and be approved by Planning, Engineering, and Weber Fire District.
3. The architectural standards outlined in LUC 108-2-4 shall be met, with this application.
4. Any exterior lighting shall comply with LUC 108-16 (Outdoor Lighting).

This recommendation is based on the following findings:

1. The proposed use conforms to the South East Planning Area Master Plan.
2. The proposed use will not be detrimental to public health, safety, or welfare.
3. The proposed use complies with applicable County ordinances.
4. The proposed use, if conditions are imposed, will not deteriorate the environment or create an unsightly improvement so as to negatively impact surrounding properties and uses.

### Exhibits

- A. Application
- B. Site Plan & Structural Dimensions
- C. UDOT Easement Agreement

Area Map



## Exhibit A - Application

### Allwest Communications-Allwest Communications-Conditional Use Permits

[+ Add Follower](#) [/ Change Status](#) [/ Edit Project](#)

**Address:** 7582 E. 900 S., Huntsville, UT, 84317  
**Maps:** [Google Maps](#)  
**Project Type:** Conditional Use Permits  
**Sub Type:** Conditional Use Permits  
**Created By:** [Dave Webb](#)  
**Created On:** 8/25/2021  
**Project Status:** Accepted  
**Status Date:** 9/13/2021  
**File Number:** CUP 2021-17  
**Project Manager:** [Tammy Aydelotte](#)

[Application](#) [Documents 7](#) [Comments 0](#) [Reviews 2](#) [Followers 5](#) [Status](#) [Notifications](#) [Payments 1](#)

#### Application

[+ Add Building](#) [+ Add Parcel](#) [+ Add a Contractor](#) [/ Edit Application](#) [Print](#)

**Project Description** We will be placing a 12' x 16' pre fabricated building on a 12' x 16' concrete slab with a 4' x 8' natural gas back up generator. The building will house communication servers and fiber.

**Property Address** 7582 E. 900 S.  
Huntsville, UT, 84317

**Property Owner** Allwest Communications Allwest Communications  
435-783-4996  
[mont.flygare@allwest.com](mailto:mont.flygare@allwest.com)

**Representative** Dave Webb  
307-444-8458  
[david.webb@allwest.com](mailto:david.webb@allwest.com)

**Accessory Dwelling Unit** False

**Current Zoning**

**Subdivision Name**

**Number of Lots**

**Lot Number**

**Lot Size**

**Frontage**

**Culinary Water Authority**

**Secondary Water Provider**

**Sanitary Sewer Authority**

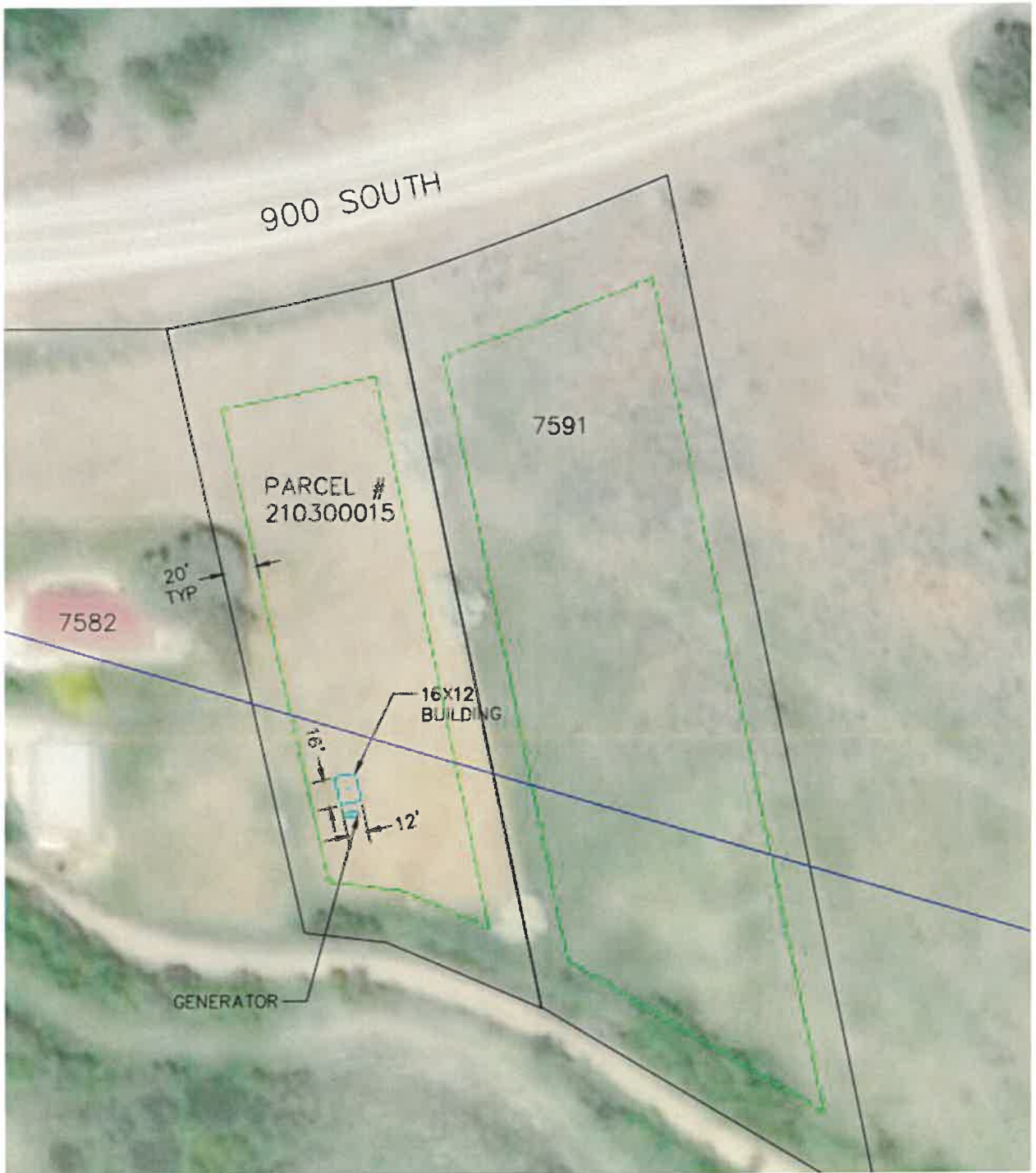
**Nearest Hydrant Address**

**Signed By** Representative, David Webb

**Parcel Number**

[\\* Remove](#) 210300015 - [County Map](#)

Exhibit B - Site Plan and Structural Dimensions





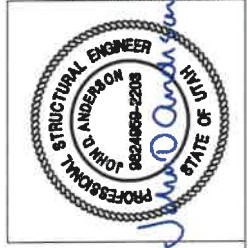




**BUILDING NUMBER: 49174**

**DESIGN: D11401**

FINISH SCHEDULE	
NO FINISH SCHEDULE REQUIRED. BUILDING SHALL HAVE STANDARD EXPOSED AGGREGATE FINISH.	



THESE PLANS ARE THE CONFIDENTIAL PROPERTY OF FIBREBOND CORPORATION. NO REPRODUCTION OR DISSEMINATION OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN FOR ANY REASON IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF FIBREBOND CORPORATION. THESE DRAWINGS AND THE INFORMATION CONTAINED HEREIN ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE OR REPRODUCTION OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF FIBREBOND CORPORATION IS STRICTLY PROHIBITED.		1300 PALMPORT DRIVE, MINDELL, LA 71055 PH: (802) 864-2614 www.fibrebond.com	<b>FIBREBOND</b>
ALL WEST COMMUNICATIONS		ISSUED FOR: *APPROVAL A.01*	
12' - 0" X 16' - 0" BUILDING		APPROVALS IN PDM	
BUILDING COVERSHEET		THIRD ANGLE PROJECTION	
DATE: 21-OCT-2020	BY: PJM	SCALE: NTS	SHEET NO: 49174
DATE: 21-OCT-2020	BY: JC	SCALE: B	WORKING NO: D11401

**INDEX OF SHEETS**

SHEET#	DESCRIPTION	REV.	SHEET#	DESCRIPTION	REV.
1-0	INDEX OF SHEETS	A.01	3-3	ELEVATION, INTERNAL, WALL-B, GROUNDING	A.01
1-1	MANUFACTURED BUILDING DATA SHEET	A.01	3-4	ELEVATION, INTERNAL, WALL-C, GROUNDING	A.01
1-2	BUILDING WEIGHT, C.G., LIFTING, STORAGE & TRANSPORTATION	A.01	3-5	ELEVATION, INTERNAL, WALL-D, GROUNDING	A.01
1-3	BUILDING NOTES	A.01	3-6	HALO GROUNDING DETAILS	A.01
2-1A	BUILDING INSULATION DETAILS	A.01	4-1	FOUNDATION PLAN	A.01
2-1	FLOOR PLAN	A.01	5-1	ELECTRICAL SCHEMATIC #1	A.01
2-2	ELEVATION, EXTERNAL, WALL-A	A.01	5-2	ELECTRICAL SCHEMATIC #2	A.01
2-3	ELEVATION, EXTERNAL, WALL-B	A.01	5-3	ALARM WIRING SHEET #1	A.01
2-4	ELEVATION, EXTERNAL, WALL-C	A.01	6-1	STRUCTURAL LAYOUT, ROOF	A.01
2-5	ELEVATION, EXTERNAL, WALL-D	A.01	6-2	STRUCTURAL LAYOUT, FLOOR	A.01
2-6	ELEVATION, INTERNAL, WALL-A	A.01	6-3	STRUCTURAL LAYOUT, SIDE PANEL-A	A.01
2-7	ELEVATION, INTERNAL, WALL-B	A.01	6-4	STRUCTURAL LAYOUT, END PANEL-B	A.01
2-8	ELEVATION, INTERNAL, WALL-C	A.01	6-5	STRUCTURAL LAYOUT, SIDE PANEL-C	A.01
2-9	ELEVATION, INTERNAL, WALL-D	A.01	6-6	STRUCTURAL LAYOUT, END PANEL - D	A.01
2-10	CEILING VIEW, ELECTRICAL	A.01	6-7	STRUCTURAL ROOF SECTION DETAILS	A.01
2-11	CEILING VIEW, CABLE RACK, FIBER RACK	A.01	6-8	STRUCTURAL FLOOR SECTION DETAILS	A.01
2-11.1	CABLE RACK & FIBER RACK DETAILS	A.01	6-9	STRUCTURAL WALL SECTION DETAILS	A.01
3-1	CEILING VIEW, GROUNDING	A.01	6-10	STRUCTURAL MISC. DETAILS	A.01
3-2	ELEVATION, INTERNAL, WALL-A, GROUNDING	A.01	8-1 & 8-2	BILL OF MATERIALS	A.01

**REFERENCED DRAWINGS:**

DWG NO	REV	SHEET DESCRIPTION
ELEC-0103	0	ICM T-STAT - MARVAIR A/C UNIT W/ OR W/O ECONOMIZERS
MECH-0005	4	STANDARD CABLE BACK MOUNTING DETAILS



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ISSUED FOR: ALL WEST COMMUNICATIONS		*APPROVAL A.01* APPROVALS IN PDM DATABASE
12 - 0' X 16' - 0" BUILDING		INDEX OF SHEETS
DATE: 18-NOV-2020 BY: GD CHK: JC APP: JC	DATE: 18-NOV-2020 BY: PM CHK: JC APP: JC	SHEET NO.: 1-0 DWG NO.: B D11401

**GENERAL DESIGN NOTE**

- ⚠ This is an unmanned storage and equipment shelter only.
- ⚠ Shelter 1c = 500psi @ 28 days.
- ⚠ Per IBC 2012 Table 705.9 any wall w/10% or less of unprotected openings may utilize a setback greater than 5'-0". Any wall w/15% or less of unprotected openings may utilize a setback greater than 10'-0". Any wall w/25% or less of unprotected openings may utilize a setback greater than 15'-0". Any wall w/45% or less of unprotected openings may utilize a setback greater than 20'-0". Any wall w/70% or less of unprotected openings may utilize a setback greater than 25'-0".
- ⚠ All items noted as "FIELDWORK" shall be installed and tested at the factory then removed for transport and reinstalled at the final site.
- ⚠ Model may be built as "mirror image".
- ⚠ Door swing and waveguide location may change due to site requirements.
- ⚠ Building shall be placed on a foundation supplied by others.
- ⚠ Building not designed for installation in a flood prone area.
- ⚠ Fire extinguisher installed by others when not supplied by Fibrebond.
- ⚠ Electrical components shown per customer's design requirements.
- ⚠ This building does not contain plumbing facilities. Plumbing facilities shall be provided on site subject to the local authority having jurisdiction.

CONCRETE THICKNESS (INCHES)	NON-RATED	1 HOUR	2 HOUR
	2"	2.5"	4"
-ALL VALUES FOR LIGHT-WEIGHT CONCRETE			
-TABLE 719.1(2) - 4-1.1 (IBC 2012)			
-TABLE 720.1(2) - 4-1.1 (IBC 2012)			

STRUCTURAL DESIGN BY:  
 ANDERSON STRUCTURAL GROUP, INC.  
 SACRAMENTO, CA  
 PHONE: 916-514-9109

DESIGN CRITERIA:  Non Fire-rated  1 Hour Fire-rated  2 Hour Fire-rated

- 1. CODES AND STANDARDS:**  
 2012 INTERNATIONAL BUILDING CODE W/AMENDMENTS
- A. FLOOR**  
 1. LIVE LOAD: 150 psf
- B. ROOF LIVE LOAD**  
 105 psf
- C. SNOW LOAD**  
 1. GROUND SNOW LOAD (Pg) = 80 psf  
 2. SNOW IMPORTANCE FACTOR (Is) = 1.1  
 3. SNOW EXPOSURE FACTOR (Ce) = 1.1  
 4. FLAT ROOF SNOW LOAD (Pf) = 81 psf  
 5. THERMAL FACTOR (Ct) = 1.2
- D. WIND LOAD**  
 1. WIND SPEEDS: V<sub>vel</sub> = 120 mph  
 2. WIND EXPOSURE CATEGORY: C  
 4. INTERNAL PRESSURE COEFFICIENT: ±0.18
- E. EARTHQUAKE DESIGN DATA**  
 1. SEISMIC IMPORTANCE FACTOR (IE) 1.5  
 2. RISK CATEGORY: IV  
 3. MAPPED SPECTRAL ACCELERATION PARAMETERS:  
 a. S<sub>s</sub>: 1.00  
 b. S<sub>1</sub>: 0.60  
 4. SITE CLASS: D  
 5. DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS  
 a. S<sub>ds</sub>: 1.00  
 b. S<sub>d1</sub>: 0.60  
 6. SEISMIC DESIGN CATEGORY: D  
 7. BASIC SEISMIC-FORCE-RESISTING SYSTEM: INTERMEDIATE PRECAST SHEAR WALLS  
 8. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

FOR ARCHITECT USE ONLY



FOR ENGINEER USE ONLY

MODEL CODE	EDITION	CONST. TYPE	OCCUPANCY / USER GROUP
UTAH			
INTERNATIONAL BUILDING CODE W/ AMENDMENTS	2012	VB	S-2
INTERNATIONAL MECHANICAL CODE	2012	-	-
NATIONAL ELECTRICAL CODE	2011	-	-
INTERNATIONAL FUEL GAS CODE W/AMENDMENTS	2012	-	-
INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS	2009	-	-

AS A COMMERCIAL BUILDING IN ACCORDANCE WITH 2006 IECC SECTION 402.1.2; USE ASHRAE 90.1-07 SECTION 2.3(C) EXEMPTION

**SPECIAL CONDITIONS/LIMITATIONS**

- SEE GENERAL DESIGN NOTES 1, 2, 3, 5, 6, 7 & 8.
- THE USE OF THIS BUILDING IS NOT APPROVED FOR HAZARDOUS MATERIALS IN EXCESS OF THOSE MATERIALS LISTED IN IBC 2012 TABLE 307.1(1) AND 307.1(2)
- ELECTROLYTES IN BUILDING NOT TO EXCEED 50 GALLONS.

FOR THIRD PARTY USE ONLY

**BUILDING NUMBER :49174**

THIRD PARTY AGENCIES

THESE ITEMS ARE THE CONFIDENTIAL PROPERTY OF FIBREBOND CORPORATION. NO PARTS OR DRAWINGS ON THE HEREIN FOR ANY REASON SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FIBREBOND CORPORATION. ANYONE REPRODUCING OR TRANSMITTING THESE ITEMS WITHOUT THE WRITTEN PERMISSION OF FIBREBOND CORPORATION WILL BE HELD RESPONSIBLE THEREFOR.		1500 DAVIS HURDPORT DRIVE, MANDEN, LA 71055 PH: (800) 824-6141 www.fibrebond.com	
ALL WEST COMMUNICATIONS 12' - 0" X 16' - 0" BUILDING MANUFACTURED BUILDING DATA SHEET		ISSUED FOR: *APPROVAL A.01* APPROVALS IN FIRM DATABASE	
BY: GD DATE: 2/24/09 09:00	BY: PM DATE:	SHEET NO: 1-1	DWG NO.: D11401
REV. BY: REMSON DATE:	CHK. BY: JC DATE:	SCALE:	THIRD ANGLE PROJECTION

**TOTAL WEIGHT OF THE BUILDING : 36,600 lbs (ESTIMATED)**  
**WEIGHT OF THE BUILDING WITHOUT EQUIPMENT: 32,000 lbs (ESTIMATED)**  
**MAXIMUM LOAD AT LIFTING LUG : 12,000 lbs**  
**SHIPPING WEIGHT OF BUILDING: 36,600 lbs (ESTIMATED)**  
**BUILDING MUST BE LIFTED USING ALL LIFTING POINTS**

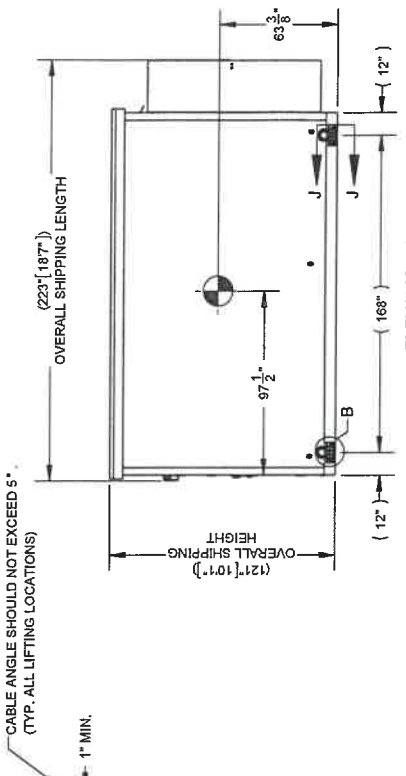
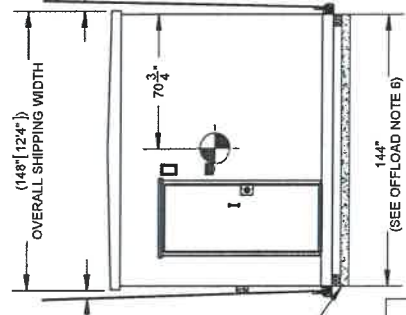
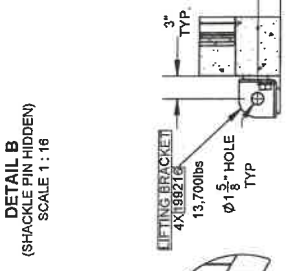
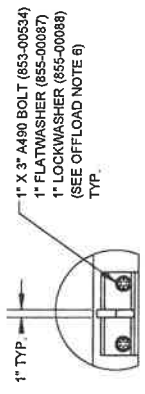
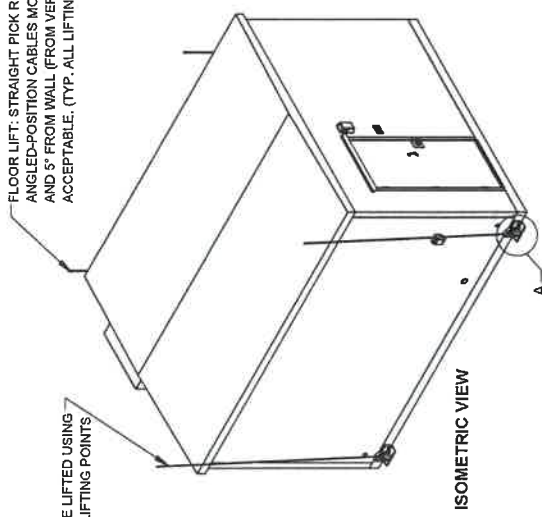
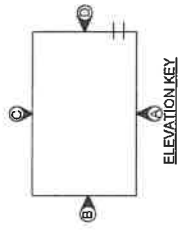
**FLOOR LIFT: STRAIGHT PICK RECOMMENDED**  
**ANGLED-POSITION CABLES MORE THAN 30° ALONG WALL**  
**AND 5° FROM WALL (FROM VERTICAL AXIS) ARE NOT**  
**ACCEPTABLE. (TYP. ALL LIFTING LOCATIONS).**

**BUILDING SHOULD BE LIFTED USING**  
**ALL THE LIFTING POINTS**

- SINGLE BUILDING SET UP PROCEDURE:**
1. INSPECT BUILDING UPON DELIVERY FOR DAMAGE DURING TRANSPORTATION.
  2. REMOVE LIFTING BRACKETS FROM SHELTER.
  3. CAULK AND GROUT BUILDING.
  4. ATTACH TIE DOWN BRACKETS. (SHIPPED LOOSE INSIDE SHELTER) TO SHELTER AND FOUNDATION USING ANCHOR BOLTS.
  5. INSTALL AND CAULK ALL ACCESSORIES (EXTERIOR LIGHT, CANOPY, ICE SHIELD, VENT HOODS, GROUND BARS, ETC.)
  6. INSPECT ROOF AND ROOF EDGE FOR DAMAGE CAUSED BY OFFLOAD AND REPAIR IF NEEDED.
  7. CLEAN INTERIOR AND COMPLETE ANY TOUCH UP PAINTING AS NEEDED.
  8. CHECK DOOR ALARM (IF APPLICABLE) FOR PROPER OPERATION.
  9. CHECK LIGHTING AND AIR CONDITIONING FOR PROPER OPERATION.
  10. INSPECT COMPLETE BUILDING FOR COSMETICS & FUNCTION.

- OFFLOAD NOTES:**
1. BUILDING SHALL BE OFFLOADED IN LEVEL
  2. ALL CABLES, SHACKLING, SPREADER BARS, ETC. SHALL BE DESIGNED AND SUPPLIED BY OWNER'S CONTRACTOR.
  3. ALL LIFTING POINTS SHALL BE USED.
  4. 1.58" MAXIMUM DIAMETER FOR SHACKLE PIN.
  5. a. FLOOR LIFT: STRAIGHT PICK RECOMMENDED ANGLED POSITION CABLES MORE THAN 30° ALONG WALL AND 5° FROM WALL (FROM VERTICAL AXIS) ARE NOT ACCEPTABLE.  
 b. LIFTING BRACKETS WILL BE REMOVED FOR TRANSPORT.  
 c. LIFTING BRACKETS WILL NEED TO BE REINSTALLED AT SITE BY OTHERS AND ALL MOUNTING HARDWARE TORQUED TO 140 ft-lbs PRIOR TO LIFTING.

**FIBREBOND NOT RESPONSIBLE FOR RIGGING**  
 THESE ILLUSTRATIONS ARE FOR REFERENCE ONLY.  
 ALL RIGGING EQUIPMENT AND POINTS OF CONNECTION ARE THE RESPONSIBILITY OF THE RIGGER.  
 ALL WEIGHTS ARE ESTIMATED  
 RECOMMENDED THAT THE SPREADER BAR BE 2R WIDER THAN THE COMPONENT BEING LIFTED AND MINIMUM 4R ABOVE.



FOR TEMPORARY STORAGE OF BUILDINGS, USE MIN. 6x6 TIMBERS DOWN LENGTH OF BUILDING ONLY, TYPICAL FOR ALL BUILDING DESIGNS



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1300 DAVENPORT DRIVE, MINDEN, LA 71055 Ph: (800) 224-2614 www.fibrebond.com	
<b>FIBREBOND</b> APPROVAL A.01* APPROVAL A.01* APPROVAL A.01* APPROVAL A.01*	
ALL WEST COMMUNICATIONS 12' - 0" X 16' - 0" BUILDING BUILDING WEIGHT, C.G. LIFTING, STORAGE & TRANSPORTATION	
APP. NO. 1-2 SCALE 1:54 SHEET NO. 1-2 DATE: 27-NOV-2020 DATE:	APP. BY: J.C. DATE:
REV. BY: DATE: REVISION:	APP.

**GROUNDING NOTES:**

1. HALO GROUND SHALL BE #2 AWG STRANDED GREEN COPPER WIRE.
2. ALL BENDS MINIMUM 8" RADIUS.
3. APPLY ANTI-OXIDATION COMPOUND TO ALL CONNECTIONS.
4. 1/2" SCH. 40 PVC CAST AT 45° ANGLE.
5. ALL GROUNDING WIRES FOR HVAC GRILLES, BOXES, DOORS, CABLE TRAY JUMPS, ETC. SHALL BE #6 AWG GREEN STRANDED COPPER WIRE AND A 2-HOLE LUG.
6. ALL CONNECTIONS TO HALO SHOULD POINT AWAY FROM INSTALLED AIR GAP.
7. BARE COPPER CONDUCTORS SHALL NOT BE IN CONTACT WITH ANY DISSIMILAR MATERIAL. PLACE ON STANDOFFS, IF NECESSARY, TO ALLOW FOR PROPER INSTALLATION.
8. SHARP BENDS IN GROUNDING CONDUCTORS SHALL BE AVOIDED. 90° BENDS SHALL NOT BE USED.
9. ALL GROUNDING CONDUCTORS SHALL BE KEPT AS SHORT AS POSSIBLE. THE SHORTEST PRACTICAL ROUTE SHALL BE CHOSEN WITH THE LEAST AMOUNT OF BENDS AND SPLICES. USE THIS RULE AT ALL TIMES, EVEN IF ELEVATION PLAN SHOWS OTHERWISE. PLANS ARE SOMETIMES CLUTTERED AND UNCLEAR DUE TO LARGE AMOUNTS OF GROUNDING.
10. ALL CONNECTIONS TO GROUND BARS SHALL BE WITH A 2-HOLE LUG UNLESS OTHERWISE SPECIFIED.
11. ALL SOLID WIRE SHALL USE A 2-HOLE LONG BARREL LUG.
12. DO NOT GROUND MORE THAN ONE PIECE OF EQUIPMENT PER DROP.
13. EACH METALLIC CONDUIT MAY BE CONNECTED TO THE HALO GROUND WITH A CONTINUOUS GROUNDING CONDUCTOR USING REMOVABLE SADDLE CLAMPS OR OTHER CLAMPS THAT SPECIFICALLY PERMIT THE USE OF A SINGLE CONTINUOUS CONDUCTOR FOR GROUNDING MULTIPLE RUNS OF CONDUIT. IF MULTIPLE CONDUCTORS ARE GROUNDING USING A SINGLE CONDUCTOR, THE CONDUCTOR SHALL BE CLAMPED TO EACH CONDUIT RUN SUCH THAT REMOVAL OF ONE CLAMP DOES NOT INTERRUPT THE PATH TO GROUND FOR THE OTHER CONDUIT RUNS.
14. REMOVE ALL PAINT BENEATH THE SURFACE OF GROUND LUGS.
15. ALL CABLE TRAY BONDING JUMPERS MAY BE INSTALLED ACROSS JUNCTION AS SHOWN OR AT OPPOSITE JUNCTION.
16. ALL SECURING HARDWARE FOR MECHANICALLY BOLTED CLAMPS AND LUGS SHALL BE STAINLESS STEEL OR APPROVED FOR THE APPLICATION.
17. SEE BUILDING COVERSHEET FOR WAVEGUIDE AND AIR GAP LOCATIONS.
18. SEE HALO GROUND DETAILS SHEET FOR DETAILS.
19. EQUIPMENT GROUND BACKBONE RUN, ON CABLE TRAY, TO BE STOPPED 3" PAST LAST RUNG ON CABLE TRAY.

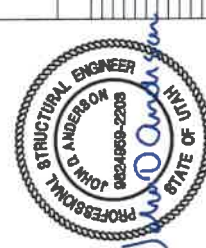
**CONDUIT NOTES:**

- C1. ALL MEASUREMENTS SHOWN ARE ACCURATE WITHIN ±1/4". ALL ADJACENT BOXES SHALL BE THE SAME DIMENSION.
- C2. THE LOCATIONS OF NON-CRITICAL ITEMS MAY BE ADJUSTED AS DEFINED BELOW. ALL ADJACENT BOXES SHALL BE THE SAME DIMENSION.
  - PULL BOXES OF ANY SIZE: (HORIZONTAL ±3", VERTICAL ±3")
  - LIGHT SWITCHES: (HORIZONTAL ±3", VERTICAL PER NOTE C1)
  - INTERIOR & EXTERIOR RECEPTACLES: (HORIZONTAL ±3", VERTICAL PER NOTE C1)
  - FIRE SAFETY DEVICES: (HORIZONTAL ±3", VERTICAL ±3")
  - THERMOSTATS: (HORIZONTAL ±3", VERTICAL ±3")
- C3. CONDUIT SHOULD BE INSTALLED AS SHOWN IF POSSIBLE. ANY CHANGES TO BENDS, OFFSETS, AND SADDLES MAY BE DONE WHEN NEEDED AND SHOULD BE UNDER THE GUIDANCE OF A QUALIFIED SENIOR CREW LEADER. ANY CHANGE MUST BE WITHIN THE GUIDELINES OF THE S.O.P.
- C4. ALL CONDUIT TO HAVE A MINIMUM OF 3/4" BETWEEN THEM.
- C5. ALL CONDUIT TO BE 3/4" UNLESS NOTED OTHERWISE.
- C6. ALL LIGHT SWITCHES TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
- C7. ALL RECEPTACLES TO BE MOUNTED AT 18" A.F.F. UNLESS NOTED OTHERWISE.
- C8. ALL CONDUITS INSIDE BUILDING SHALL BE EMT UNLESS OTHERWISE NOTED.
- C9. ALL CONDUITS OUTSIDE BUILDING SHALL BE RIGID GALVANIZED CONDUIT UNLESS OTHERWISE NOTED.
- C10. ALL CONDUITS THROUGH A WALL SHALL BE RIGID GALVANIZED UNLESS OTHERWISE NOTED.
- C11. ALL INTERIOR BOXES SHOWN WITHOUT A PART NUMBER ARE ASSUMED TO BE 4"x4".
- C12. NOTE REMOVED.
- C13. ALL EXTERIOR NIPPLES SHALL HAVE A WEATHERPROOF SEAL & LOCKNUT.

A.C.	LOW VOLTAGE	L.F.M.C.	PVC
A=1/2"	AA=1/2"	LA=1/2"	XA=1/2"
B=3/4"	BB=3/4"	LB=3/4"	XB=3/4"
C=1"	CC=1"	LC=1"	XC=1"
D=1 1/4"	DD=1 1/4"	LD=1 1/4"	XD=1 1/4"
E=1 1/2"	EE=1 1/2"	LE=1 1/2"	XE=1 1/2"
F=2"	FF=2"	LF=2"	XF=2"
G=2 1/2"	GG=2 1/2"	LG=2 1/2"	XG=2 1/2"
H=3"	HH=3"	LH=3"	XH=3"
I=3 1/2"	II=3 1/2"	LI=3 1/2"	XI=3 1/2"
J=4"	JJ=4"	LJ=4"	XJ=4"

**GENERAL ELEVATION NOTES:**

1. ALL ITEMS MARKED FIELD WORK SHALL BE INSTALLED, TESTED, REMOVED & PACKED IN BUILDING PRIOR TO SHIPMENT.
  2. ALL DOOR CLOSERS SHALL BE SET TO 90°
  3. UNLESS OTHERWISE SPECIFIED, ALL PROJECTED VIEWS ARE THIRD ANGLE PROJECTION.
- CABLE TRAY NOTES:**
- CT1. BOTTOM OF THE CABLE TRAY TO BE MOUNTED 96" ABOVE FINISHED FLOOR
  - CT2. ALL CABLE TRAYS MEASUREMENTS ARE ACCURATE WITHIN ±1/4"
  - CT3. UNISTRUT MEASUREMENTS ARE ACCURATE WITHIN ±2" WHEN MOVEMENT IS REQUIRED TO MISS TRIM, CABLE TRAY RUNGS, ETC. CONSIDERATION OF THE PREVIOUS UNISTRUT MOVEMENT SHOULD BE TAKEN INTO ACCOUNT.
  - CT4. UNISTRUTS MAY HAVE THEIR MEASUREMENT VARIED BY 16" WITH NO MORE THAN 48" BETWEEN UNISTRUTS. PARAMETERS FOR MOVING THE UNISTRUT ARE AS FOLLOWS: LIGHTS, CONDUIT, ELECTRICAL BOXES, FACEWAYS AND VARIOUS EQUIPMENT MOUNTED ON CABLE RACK THAT ARE IN THE WAY. INCOMPATIBLE PRINT LAYOUTS ARE ALSO A PARAMETER FOR MOVEMENT.
  - CT5. CABLE TRAY MAY BE MOVED, IF APPROVED BY ENGINEERING, WHEN ITEMS ALREADY MOUNTED, SUCH AS CONDUIT, BOXES, LIGHTS, WIRE WAY, ETC., INTERFERE WITH THE MEASUREMENT ON THE PRINT.
  - CT6. THE POSITIONS FOR THE CABLE TRAY SPLICERS THAT ARE SHOWN ON THE PRINT ARE FOR ILLUSTRATION. THE BEST POSITION SHOULD BE DETERMINED WHEN LAYING OUT THE CABLE TRAY IN THE BUILDING TO GET THE OPTIMUM USE OF THE CABLE TRAY.
  - CT7. CABLE TRAY INSTALLATION TO BE IN ACCORDANCE WITH LATEST ADOPTED NEC, ARTICLE 392.16.
  - CT8. CABLE TRAY GROUNDING TO BE IN ACCORDANCE WITH LATEST ADOPTED NEC, ARTICLE 392.60.



**LEGEND:**

- XXXXXXX PART NUMBER CALL OUT
- (1) PART NUMBER WITH ELECTRICAL CIRCUIT IDENTIFICATION
- CONDUIT SECTION CALL OUT
- VIEW NUMBER
- SHEET NUMBER
- CONDUIT IDENTIFICATION
- REVISION NOTE TRIANGLE

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ISSUED FOR: **APPROVAL A.01\***

ALL WEST COMMUNICATIONS

APPROVALS IN PDM DATABASE

12' - 0" X 16' - 0" BUILDING

BUILDING NOTES

DATE: 27-NOV-2020 PM DATE: 27-NOV-2020 PM

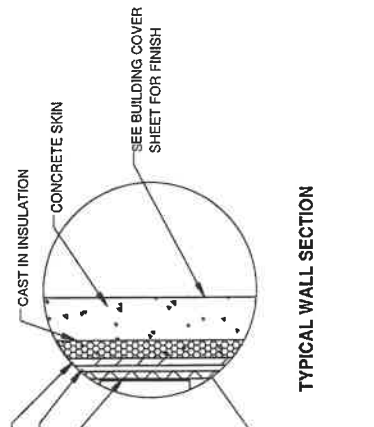
BY: JC DATE: DATE

SCALE: 1/3 SHEET NO: 1-3

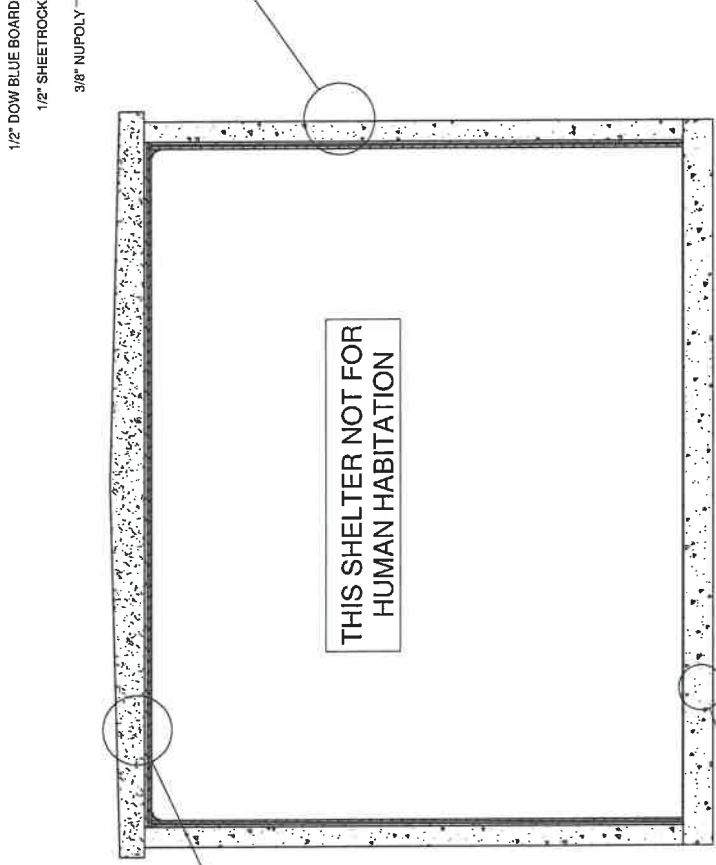
UNG NO: B D11401

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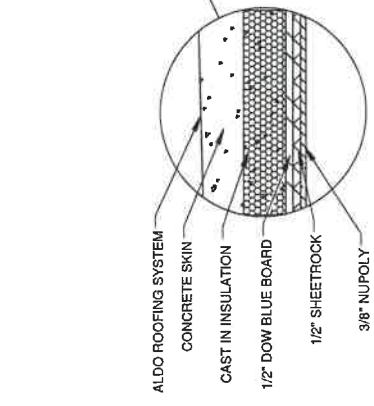


TYPICAL WALL SECTION

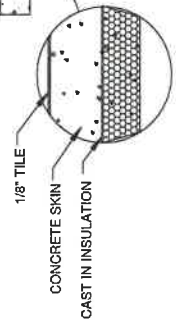


THIS SHELTER NOT FOR HUMAN HABITATION

BUILDING INSULATION DETAILS



TYPICAL ROOF SECTION

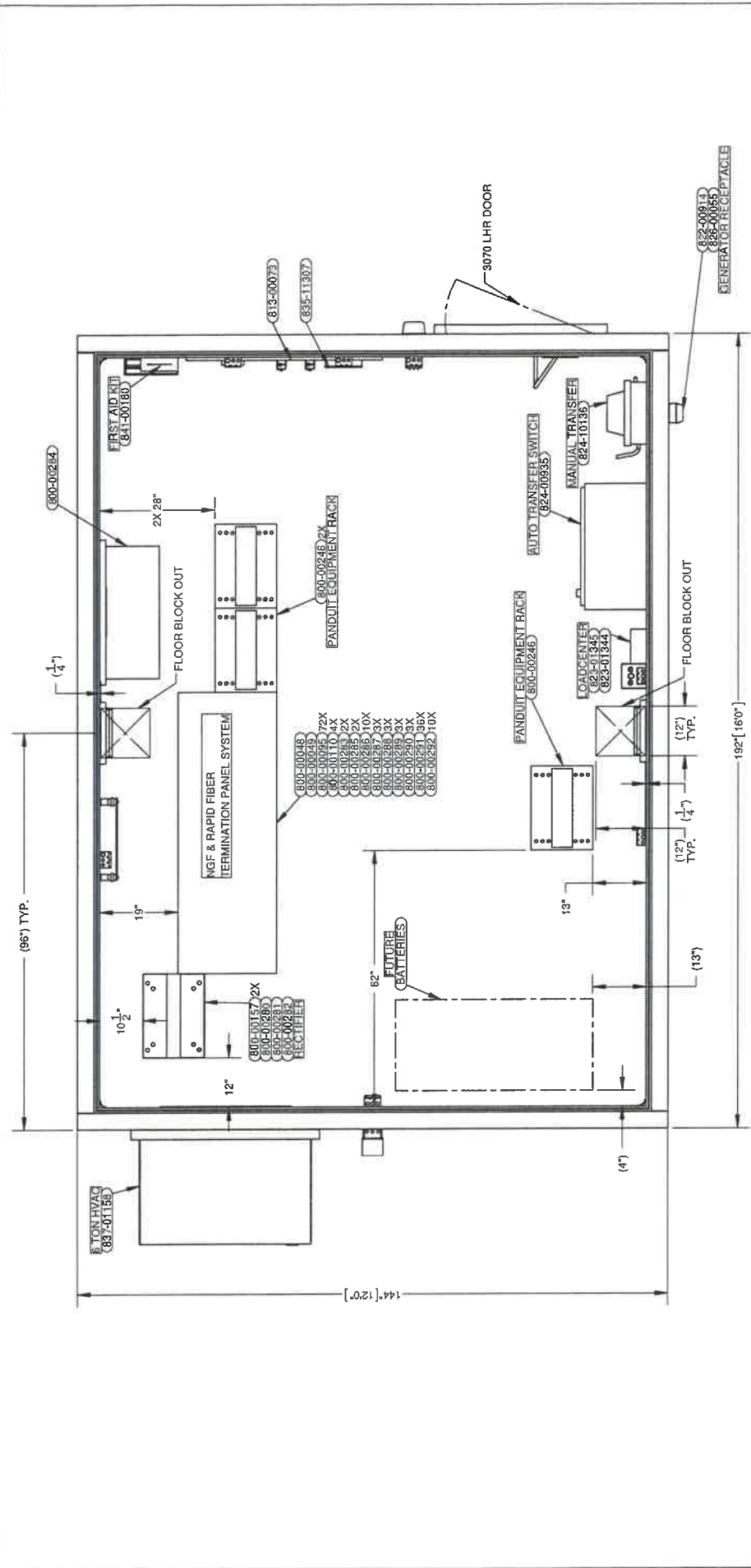


TYPICAL EQUIPMENT ROOM FLOOR SECTION



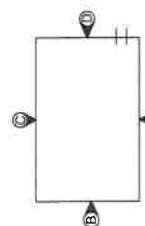
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ALL WEST COMMUNICATIONS		*APPROVAL A.01*	
12' - 0" X 16' - 0" BUILDING		APPROVALS IN PDM	
BUILDING INSULATION DETAILS		THIRD ANGLE PROJECTION	
DRN: GD	DATE: 27-MAY-2020	APP: JC	SHEET NO: 12-1A
CHK: JC	DATE:	BY:	SCALE: 1/2"=1'-0"
APP:	DATE:	BY:	DATE:
REK:	BY:	DATE:	RETISON

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**FLOOR PLAN**  
192.00 SQ. FT.

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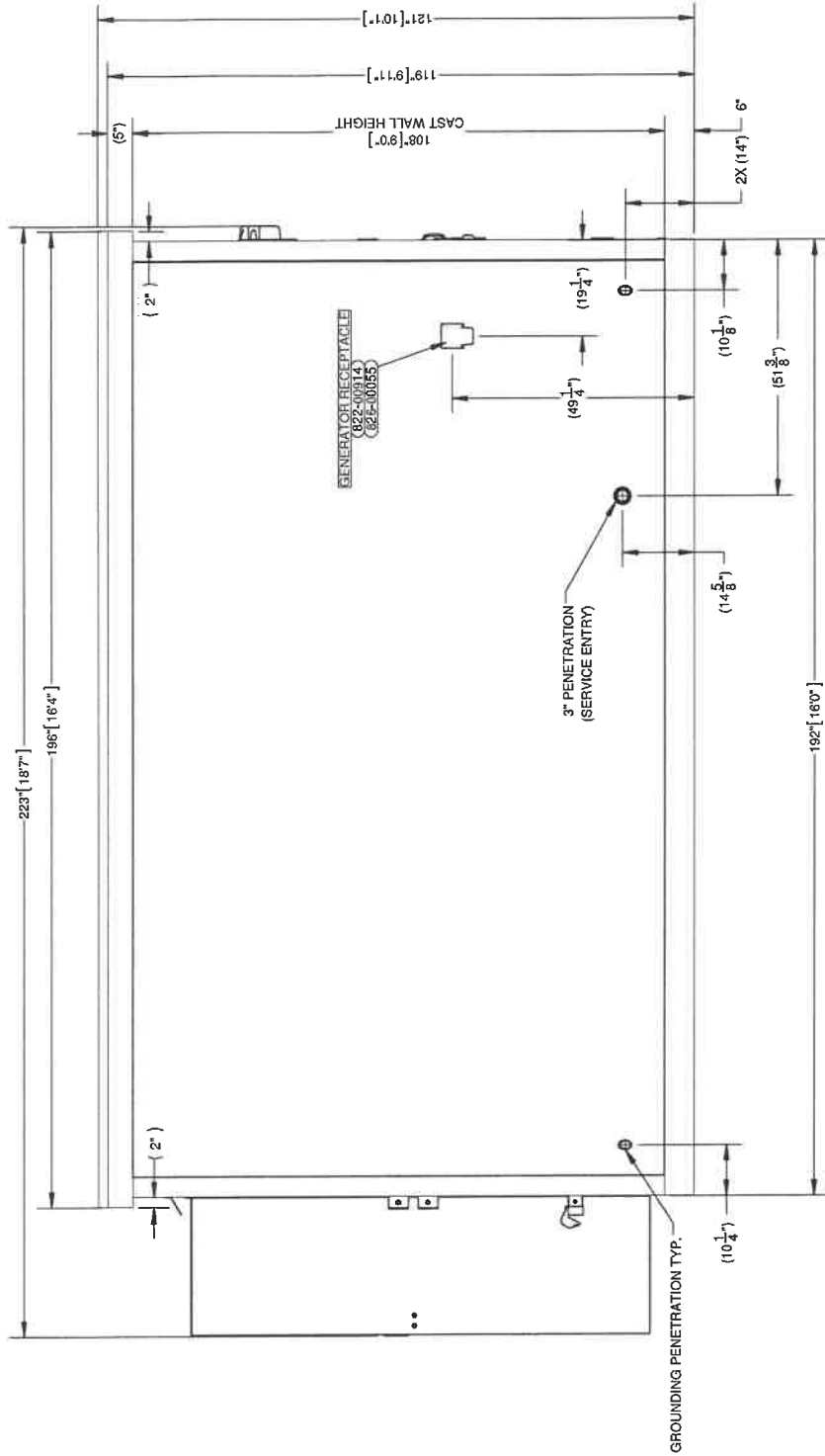


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ALL WEST COMMUNICATIONS	<p>12' - 0" X 16' - 0" BUILDING FLOOR PLAN</p>	
DATE: 12/14/2020	BY: PM	SHEET NO: 2-1
DATE:	BY:	SCALE: 1/8" = 1'-0"
DATE:	BY:	PROJ. NO: 12100003
DATE:	BY:	PROJ. NAME: WEST COMMUNICATIONS
DATE:	BY: JC	PROJ. NO: 12100003
DATE:	BY:	PROJ. NAME: WEST COMMUNICATIONS

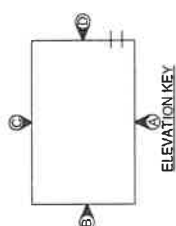
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ELEVATION, EXTERNAL, WALL-A



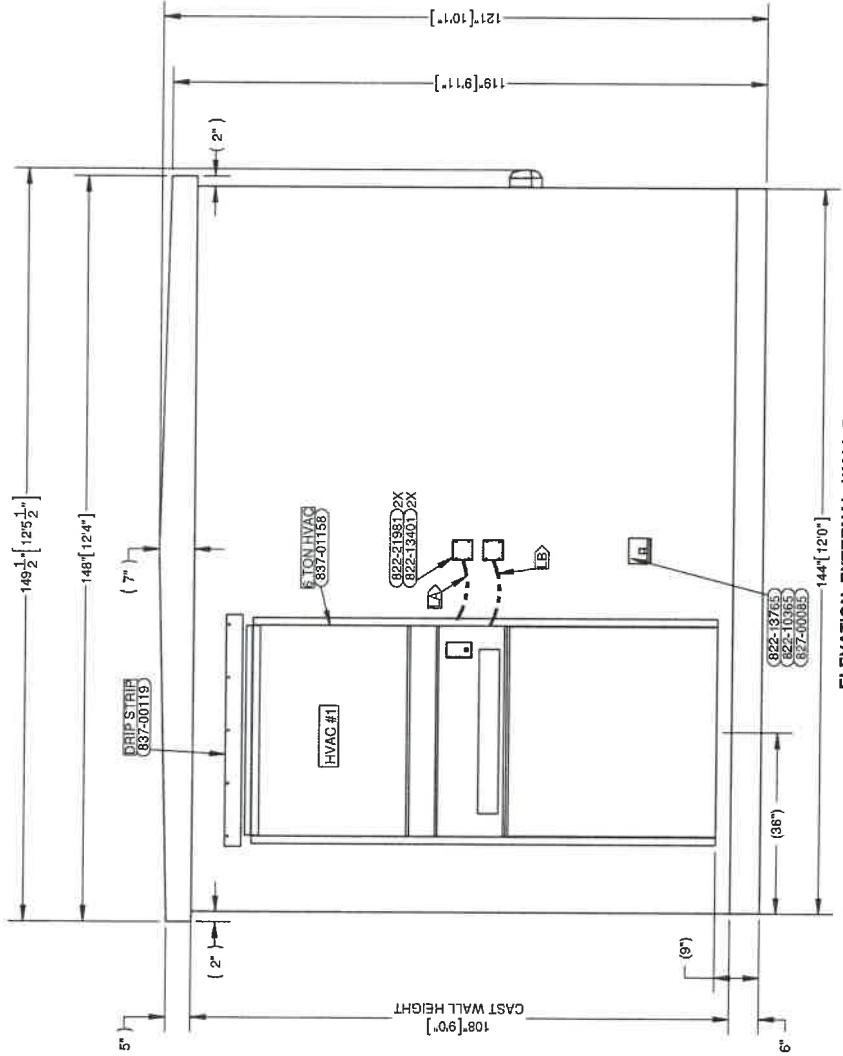
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REV.	BY	DATE	REVISION

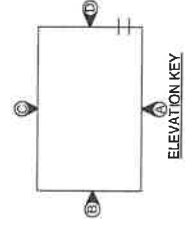
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 DATABASE  
 THIRD ANGLE  
 PROJECTION  
 SCALE: AS SHOWN  
 SHEET NO.: 2-2  
 DWG. U.S.  
 DATE: 15-NOV-2020  
 DATE: 15-NOV-2020  
 BY: PM  
 BY: JC  
 B D11401



ELEVATION, EXTERNAL, WALL-B

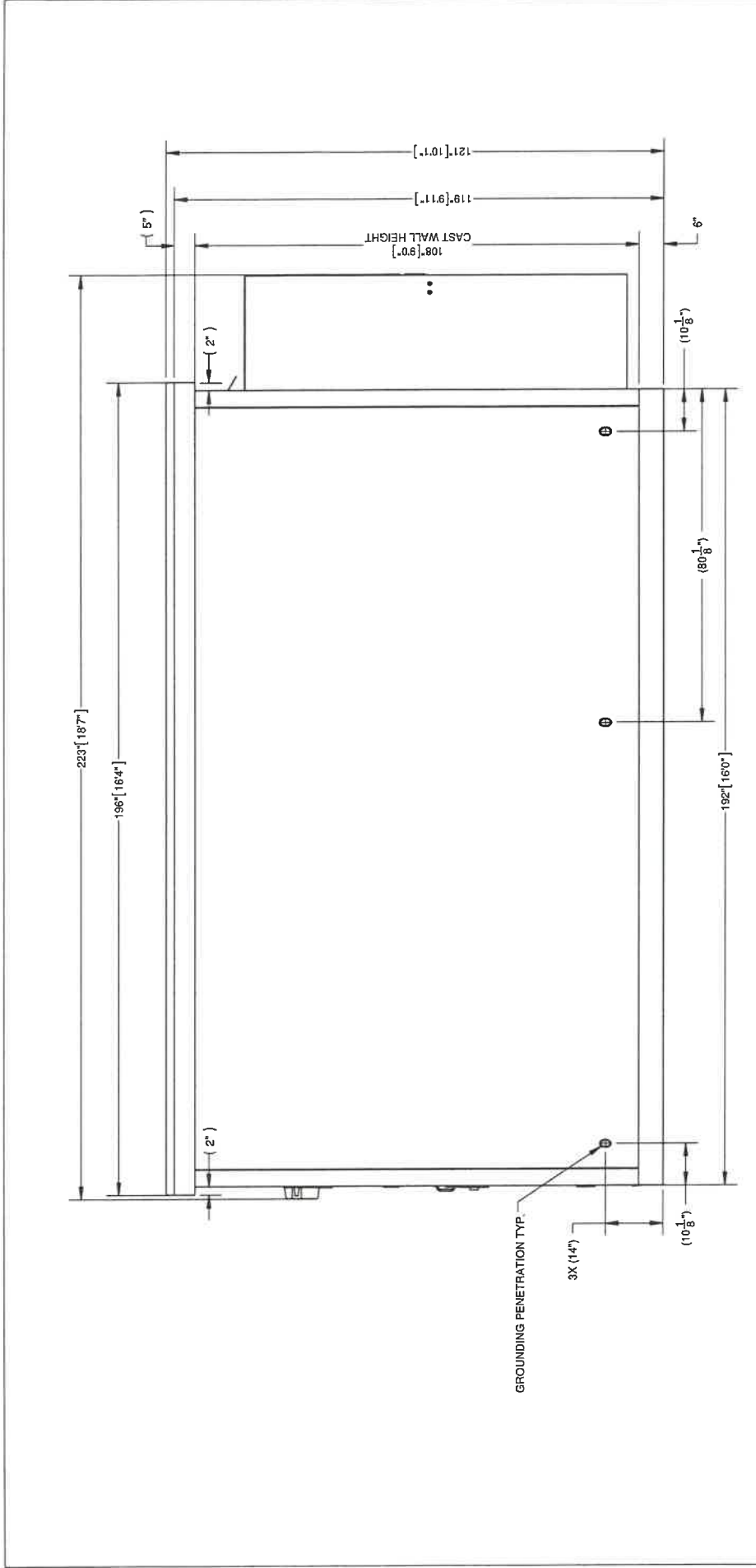
NOTES:  
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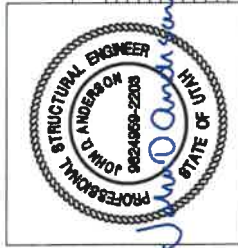
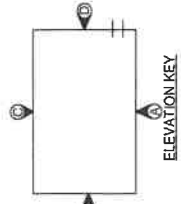
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ALL WEST COMMUNICATIONS 12" - 0" X 16" - 0" BUILDING		APPROVALS IN PDM DATABASE
SHW: GD BY: JJC DATE: 18-NOV-2020	APP: PIM BY: JJC DATE: 18-NOV-2020	THIS PRODUCTION SHEET NO.: 2-3 SCALE: 1/4" = 1'-0" SIZE: B DWG NO.: DT1401

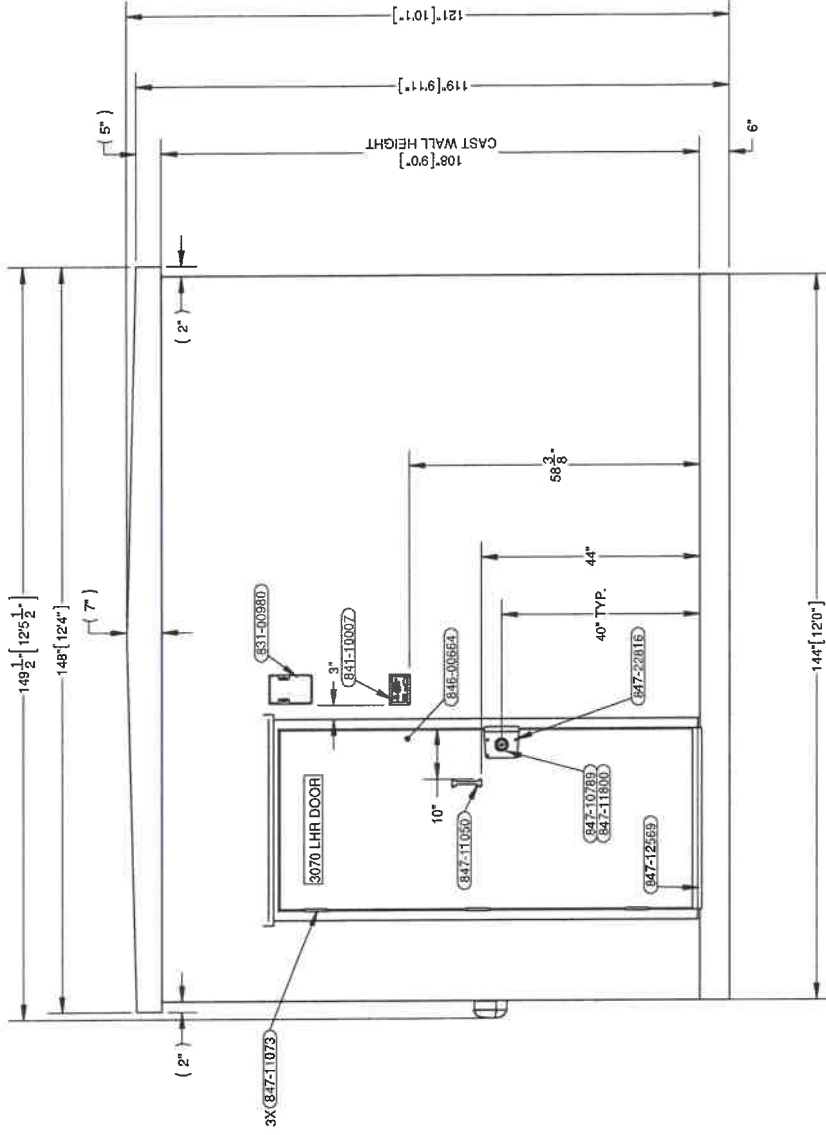


ELEVATION, EXTERNAL, WALL-C

NOTES:  
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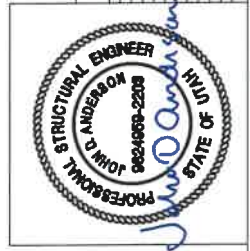
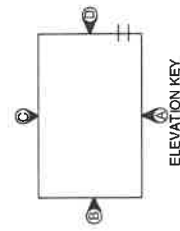


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<p>ALL WEST COMMUNICATIONS</p>		<p>FIBREBOND REGISTERED</p>	
<p>12' - 0" X 16' - 0" BUILDING</p>		<p>'APPROVAL A.01'</p>	
<p>ELEVATION, EXTERNAL, WALL-C</p>		<p>APPROVAL SYSTEM DATABASE</p>	
<p>DATE: 18-JUN-2020</p>	<p>APP: PM</p>	<p>THIRD ANGLE PROJECTION</p>	<p>SCALE: 1/24</p>
<p>DATE: 18-JUN-2020</p>	<p>APP: JC</p>	<p>SHEET NO: 2-4</p>	<p>SIZE: DWG NO: B</p>
<p>DATE: 18-JUN-2020</p>	<p>APP: JC</p>	<p>DT: GD</p>	<p>DT: JC</p>
<p>DATE: 18-JUN-2020</p>	<p>APP: JC</p>	<p>REV: BY DATE REVISION</p>	<p>DT: JC</p>
<p>DATE: 18-JUN-2020</p>	<p>APP: JC</p>	<p>AMP:</p>	<p>DT: JC</p>



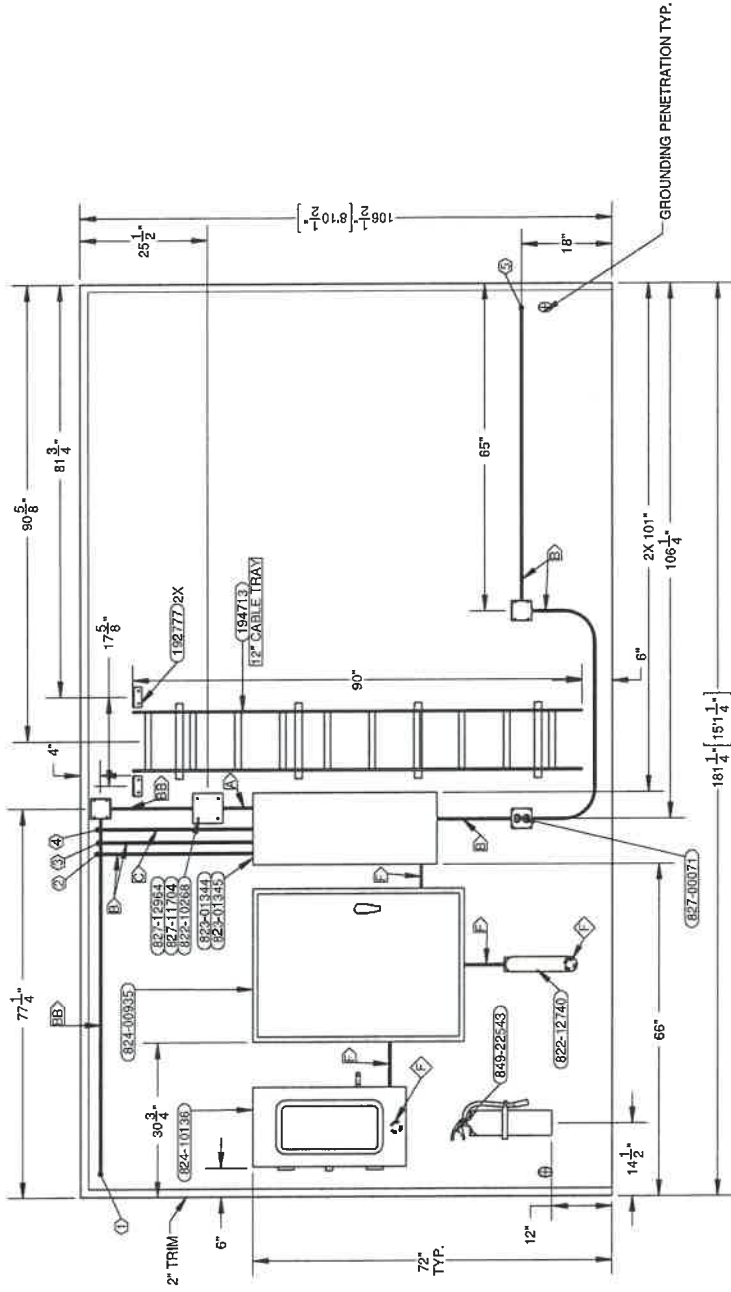
ELEVATION, EXTERNAL, WALL-D

- NOTES:  
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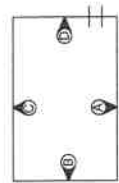
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ISSUED FOR: ALL WEST COMMUNICATIONS		*APPROVAL A.01*
PROJECT: 12' - 0" X 16' - 0" BUILDING		APPROVALS IN FPM DATABASE
ELEVATION, EXTERNAL, WALL-D		THIRD ANGLE PROJECTION
APP: JC	DATE: 10-NOV-2020	SCALE: 1/2" = 1'-0"
APP: PM	DATE:	SHEET NO.: 2-5
APP: BY:	DATE:	REV: UNO NOS:
APP:	DATE:	REV: DT1401

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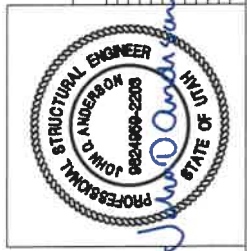


ELEVATION, INTERNAL, WALL-A

NOTE:  
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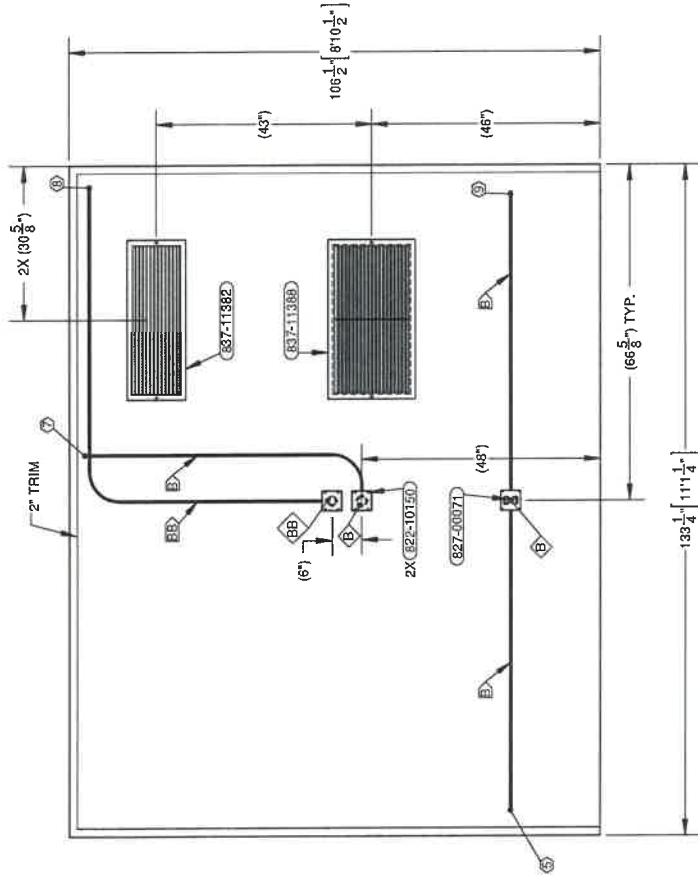
ELEVATION KEY



REV.	BY	DATE	REVISION	APP.

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ALL WEST COMMUNICATIONS 12' - 0" X 16' - 0" BUILDING		APPROVAL A.01* APPROVALS IN PPM DATABASE
ELEVATION, INTERNAL, WALL-A		THIRD ANGLE PROJECTION
DRN: GD	APP: PM	SCALE: 1/24
DATE: 18-NOV-2020	DATE:	SHEET NO: 2-5
BY: JC	BY:	PAGE DWG NO: B
REV:	DATE:	DTG NO: DT1401

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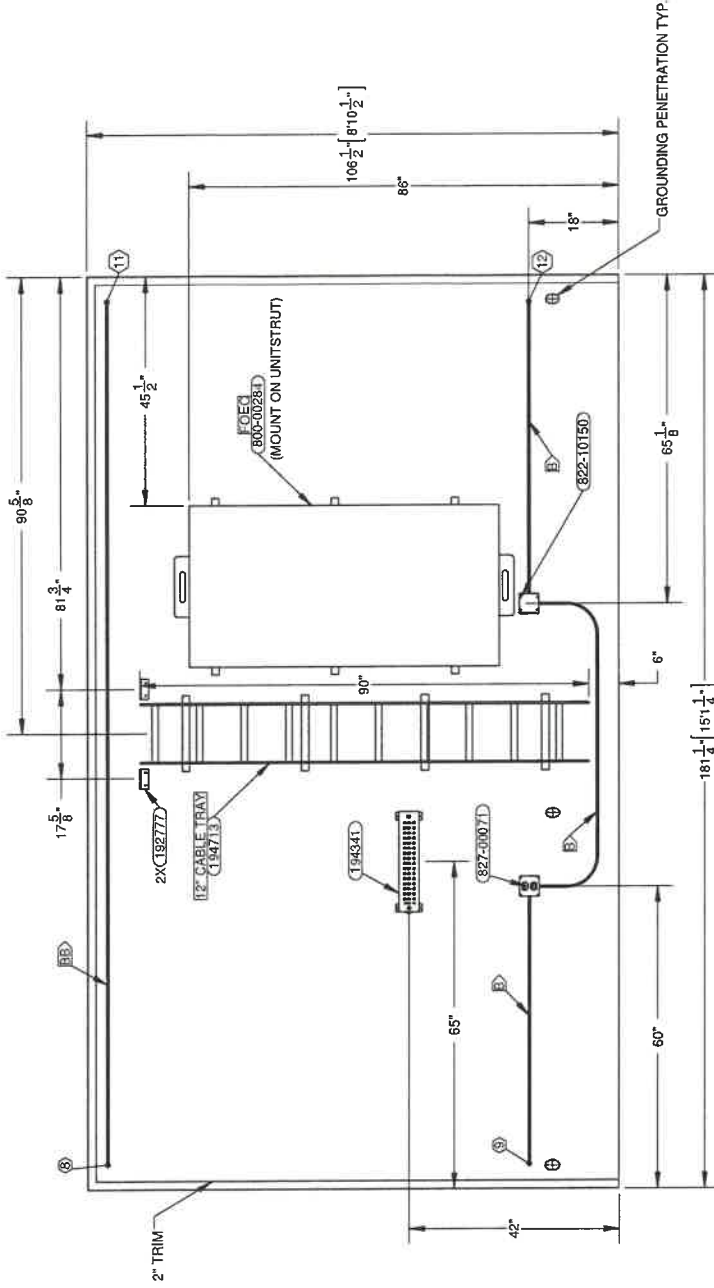
NOTES:  
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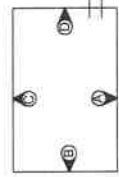
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APPROVALS IN PCM DATABASE	12' - 0" X 16' - 0" BUILDING	APPROVALS IN PCM DATABASE	APPROVALS IN PCM DATABASE
THIRD ANGLE PROJECTION	ELEVATION, INTERNAL, WALL-B	THIRD ANGLE PROJECTION	THIRD ANGLE PROJECTION
SCALE	DATE: 15-NOV-2020	SCALE	SCALE
SHEET NO: 2-7	BY: GD	SHEET NO: 2-7	SHEET NO: 2-7
DWG NO: B	DATE: 15-NOV-2020	DWG NO: B	DWG NO: B
APP: JC	DATE: 15-NOV-2020	APP: JC	DATE: 15-NOV-2020



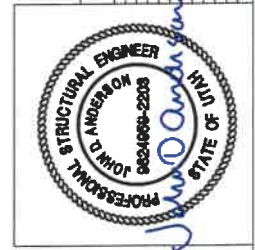


ELEVATION, INTERNAL, WALL-C

NOTES:  
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ELEVATION KEY

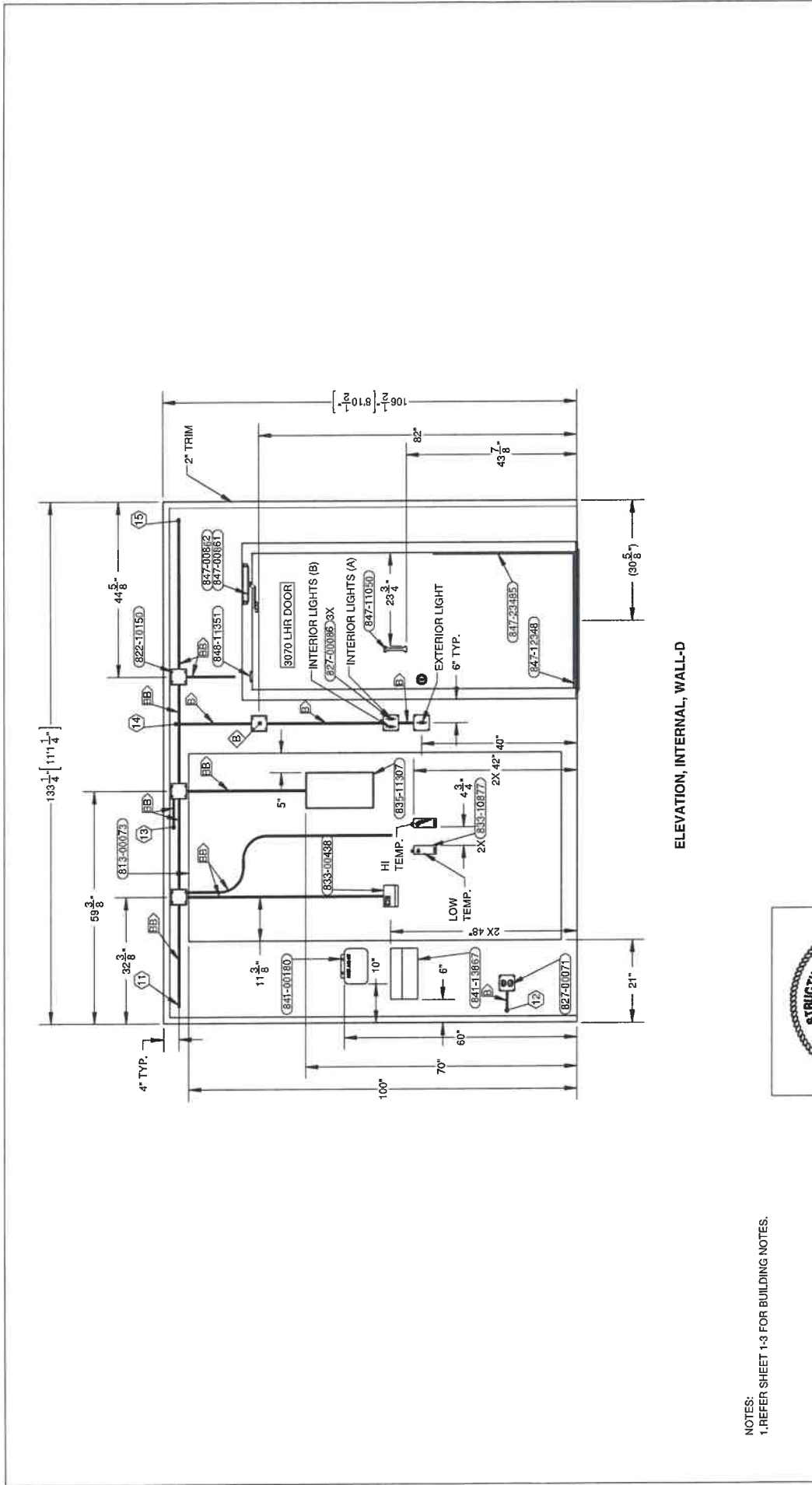


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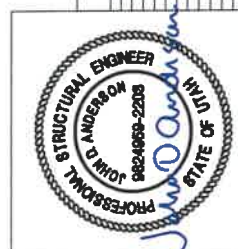
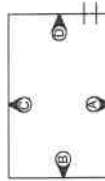
1530 DAVENPORT DRIVE, MINDELA, LA 70555 P.O. BOX 9242-2814 www.fibrebond.com	<b>FIBREBOND</b>
DESIGNED BY: *APPROVAL A.01*	APPROVALS IN PDM DATABASE
PROJECT: 12' - 0" X 16' - 0" BUILDING	1/8" = 1' SCALE PROJECTION
ELEVATION, INTERNAL, WALL-C	DATE: 19-NOV-2020
DRN: J.C.	DATE: 19-NOV-2020
BY: J.C.	DATE: 19-NOV-2020
	DATE: 
	DATE: 
	DATE: 
	DATE: 
	DATE: 

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ELEVATION, INTERNAL, WALL-D

NOTES:  
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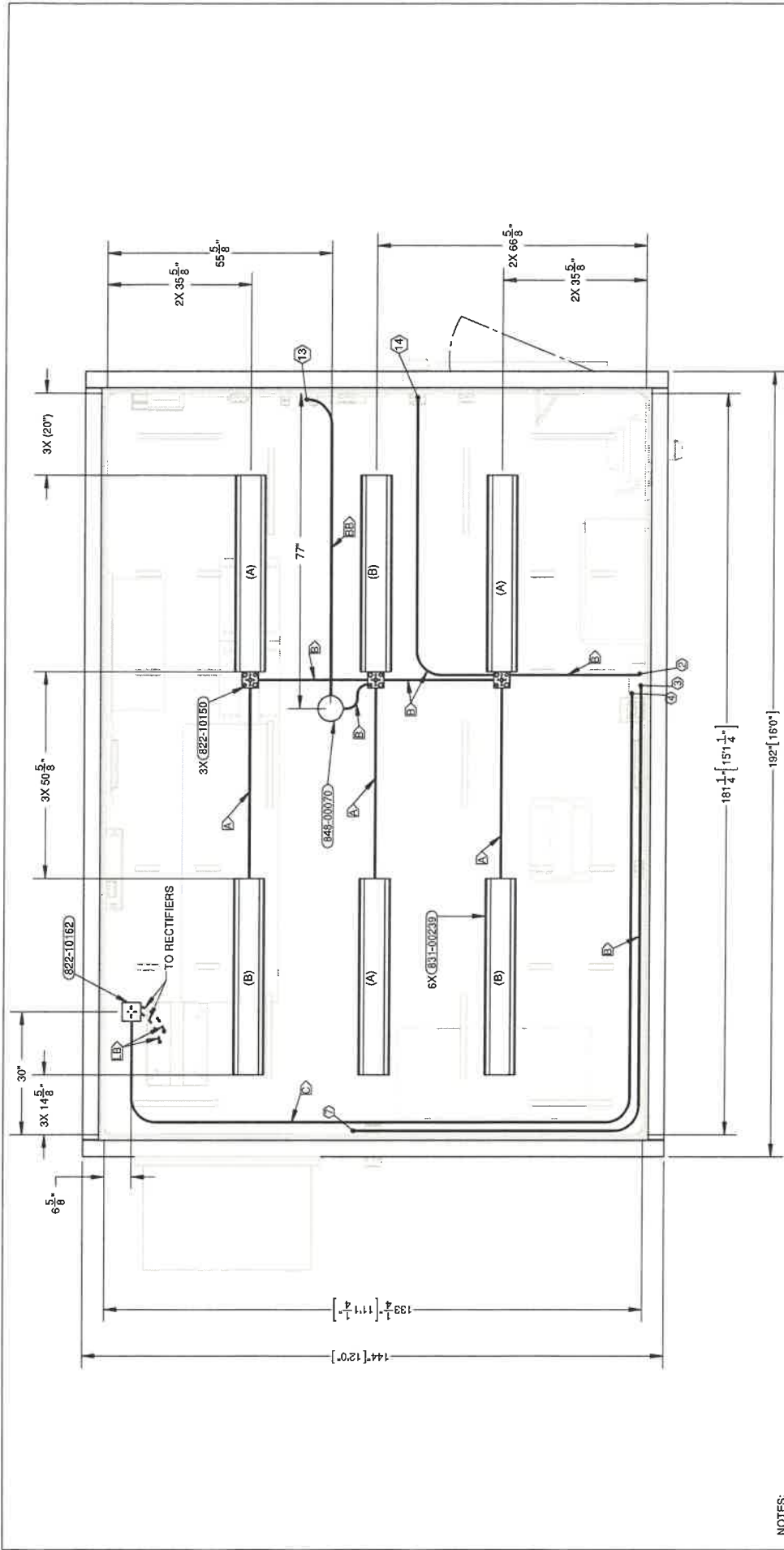


REV.	BY	DATE	REVISION	APP.

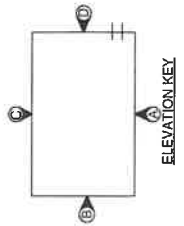
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<b>FIBREBOND</b> ISSUED FOR:	
ALL WEST COMMUNICATIONS	
APPROVALS IN FOM DATABASE	
THIRD PARTY REGISTRATION	SHEET NO: 2-9
DATE: 19-NOV-2020	DATE: 19-NOV-2020
BY: GD BY: JM	DATE: DATE:
CHK: JC	DATE: DATE:
SIZE: B	DWG NO.:
B	D11401

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**FIFIBREBOND**

ISSUES FOR:  
\*APPROVAL A.01\*

THIRD ANGLE PROJECTION

SCALE: 1/2" = 1'-0"

SHEET NO.: 2-10

DATE: 12/14/2020

DATE: 12/14/2020

BY: GD

APP: PM

CHK: JC

DATE: 12/14/2020

DATE: 12/14/2020

APP: JC

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**FIFIBREBOND**

ISSUES FOR:  
\*APPROVAL A.01\*

THIRD ANGLE PROJECTION

SCALE: 1/2" = 1'-0"

SHEET NO.: 2-10

DATE: 12/14/2020

DATE: 12/14/2020

BY: GD

APP: PM

CHK: JC

DATE: 12/14/2020

DATE: 12/14/2020

APP: JC

REV. BY DATE REVISION

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ISSUES FOR:  
\*APPROVAL A.01\*

THIRD ANGLE PROJECTION

SCALE: 1/2" = 1'-0"

SHEET NO.: 2-10

DATE: 12/14/2020

DATE: 12/14/2020

BY: GD

APP: PM

CHK: JC

DATE: 12/14/2020

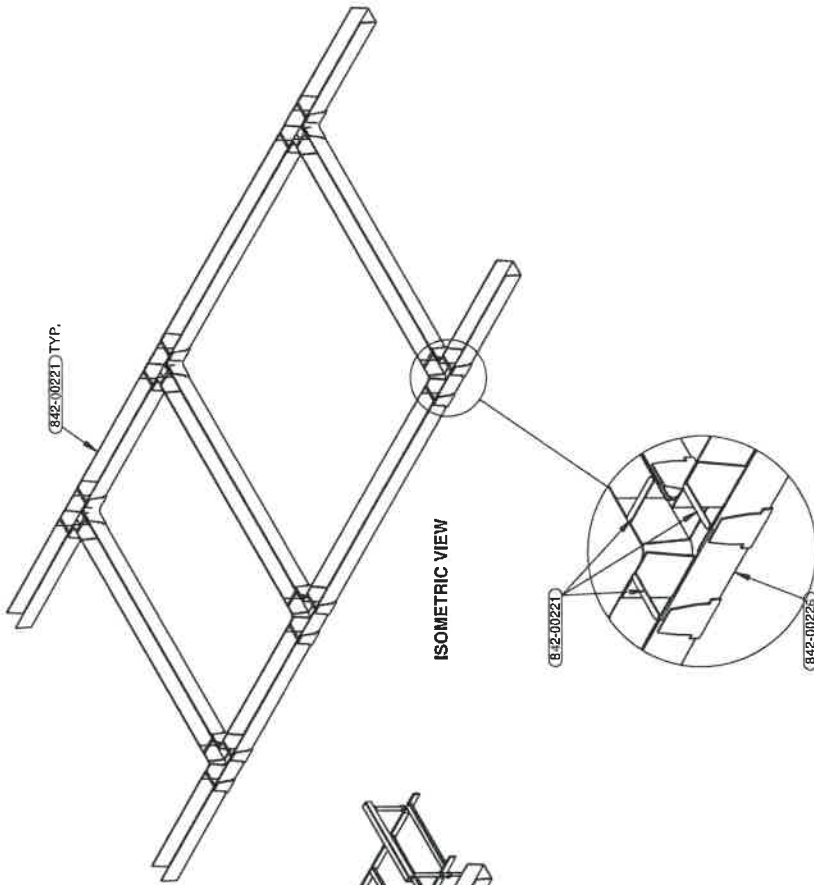
DATE: 12/14/2020

APP: JC

REV. BY DATE REVISION

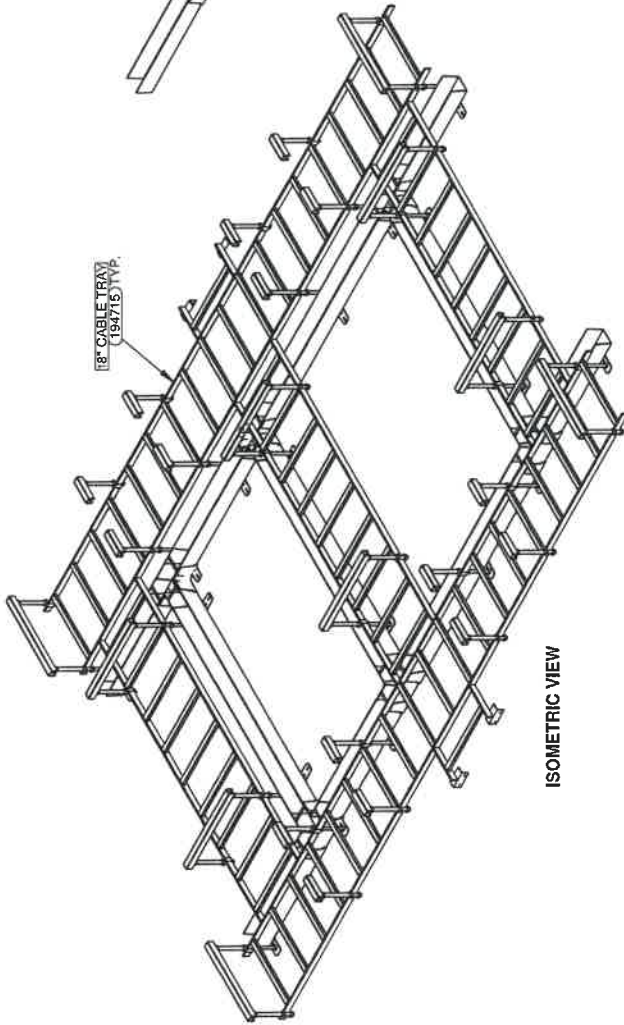






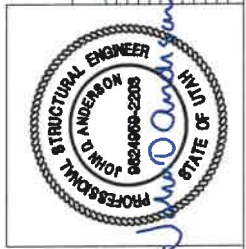
ISOMETRIC VIEW

DETAIL R  
SCALE 1 : 8



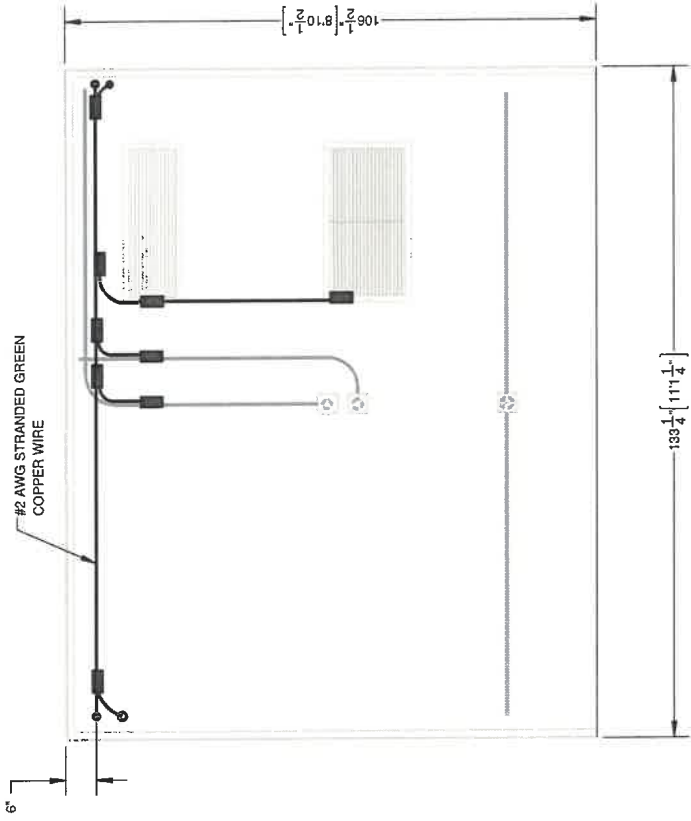
ISOMETRIC VIEW

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ALL WEST COMMUNICATIONS 12' - 0" X 16' - 0" BUILDING CABLE RACK & FIBER TRAY DETAIL		DATE: 12-NOV-2020 BY: PM DATE: 12-NOV-2020 BY: JC	THERMANCE PRODUCTION SCALE SIZE 2'-11" SHEET NO. DWG NO. B D11401
REV.	BY	DATE	REVISION



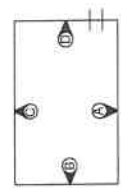




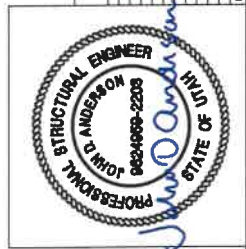


ELEVATION, INTERNAL, WALL-B, GROUNDING

- NOTES:  
 1. REFER SHEET 1-3 FOR GROUNDING NOTES.  
 2. REFER SHEET 3-6 FOR GROUNDING CONNECTIONS.

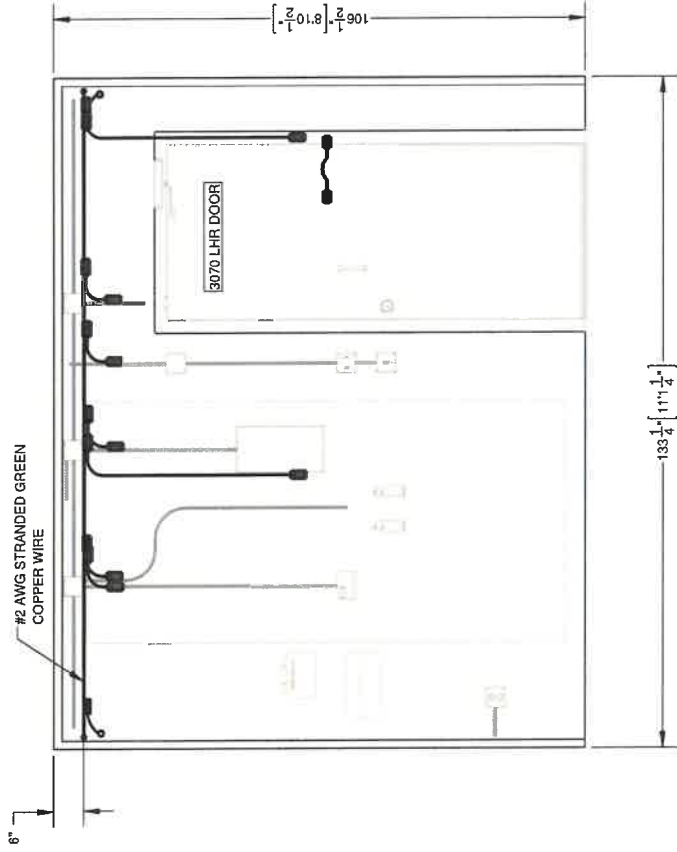


ELEVATION KEY



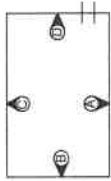
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ELEVATION, INTERNAL, WALL-B, GROUNDING 12' - 0" X 16' - 0" BUILDING		DATE: 21-DEC-2020 BY: JPM DATE: 21-DEC-2020 BY: JPM	TRIP-ANGLE PROJECTION SCALE: 1/8" = 1'-0" SHEET NO.: 3-3 DWG. NO.: B D11401
REV. BY: _____ DATE: _____ REVISION: _____	APP: _____	DATE: _____ BY: _____ DATE: _____ BY: _____	SHEET NO.: 3-3 DWG. NO.: B D11401





ELEVATION, INTERNAL, WALL-D, GROUNDING

- NOTES:
1. REFER SHEET 3-1 FOR GROUNDING NOTES.
  2. REFER SHEET 3-6 FOR GROUNDING CONNECTIONS.



REV.	BY	DATE	REVISION

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ISSUES:  
\*APPROVAL A.01\*

APPROVALS OF PDM  
DATABASE

THIRD ANGLE  
PROJECTOR

SCALE  
1:24

SHEET NO:  
3-5

SIZE  
B

DATE: 19-NOV-2020  
APP: PM  
DATE: 19-NOV-2020  
APP: JC

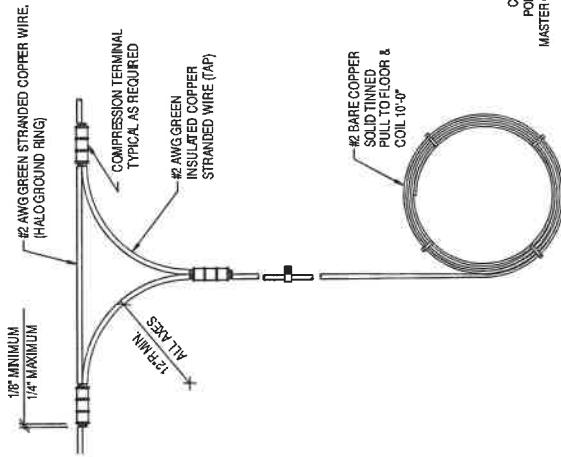
DRN: GD  
DTC: JC

ELEVATION, INTERNAL, WALL-D, GROUNDING  
12' - 0" X 16' - 0" BUILDING

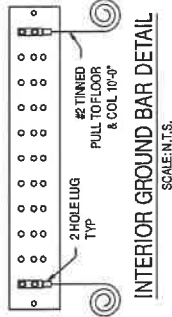
FIBREBOND

DT1401

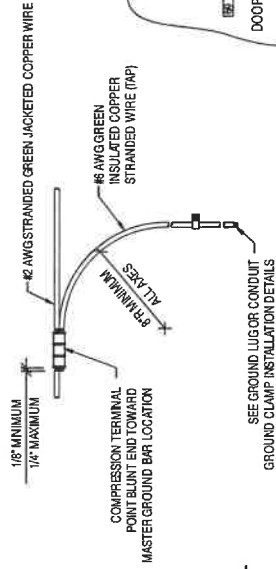




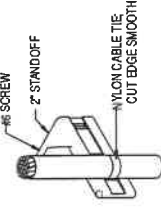
**TYPICAL HALO GROUND CORNER DETAIL**  
SCALE: N.T.S.



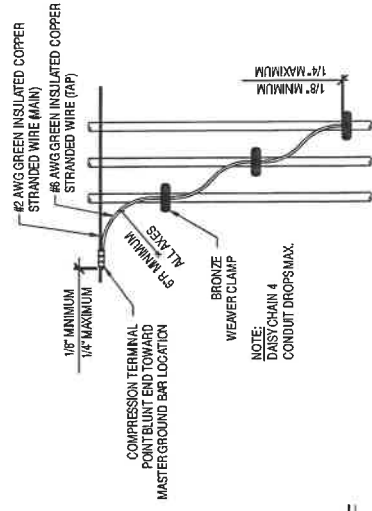
**INTERIOR GROUND BAR DETAIL**  
SCALE: N.T.S.



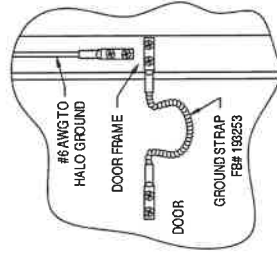
**HALO GROUND DROP DETAIL**  
SCALE: N.T.S.



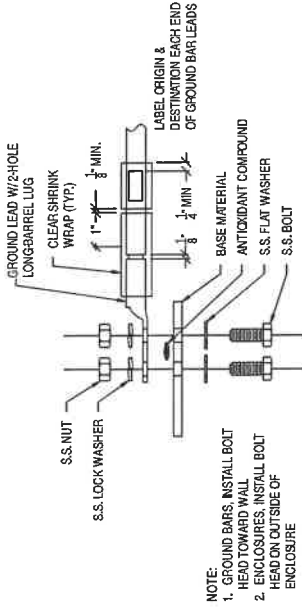
**HALO WIRE SUPPORT DETAIL**  
(TYP FOR HALORING & DROPS)



**HALO GROUND CONDUIT DROP DETAIL**  
SCALE: N.T.S.



**HALO GROUND DOOR CONNECTION DETAIL**  
SCALE: N.T.S.



**GROUND LUG INSTALLATION DETAIL**  
SCALE: N.T.S.

- NOTE:  
1. GROUND BARS INSTALL BOIT HEAD TOWARD WALL ENCLOSURES, INSTALL BOIT HEAD ON OUTSIDE OF ENCLOSURE  
2. ENCLOSURES, INSTALL BOIT HEAD ON OUTSIDE OF ENCLOSURE

FB #	WIRE SIZE	HOLES	HOLE SPACING
830-12673	#2	(2) 5/16" Ø	5/8"
830-2380	#4	(2) 5/16" Ø	5/8"
830-21023	#6	(2) 5/16" Ø	5/8"
830-21024	#2	(2) 7/16" Ø	1"
830-11703	#4	(2) 7/16" Ø	1"
830-21172	#6	(2) 7/16" Ø	1"
830-20226	2/0	(2) 7/16" Ø	1"

NOTE:  
SEE 13 SHEET FOR GROUNDING NOTES

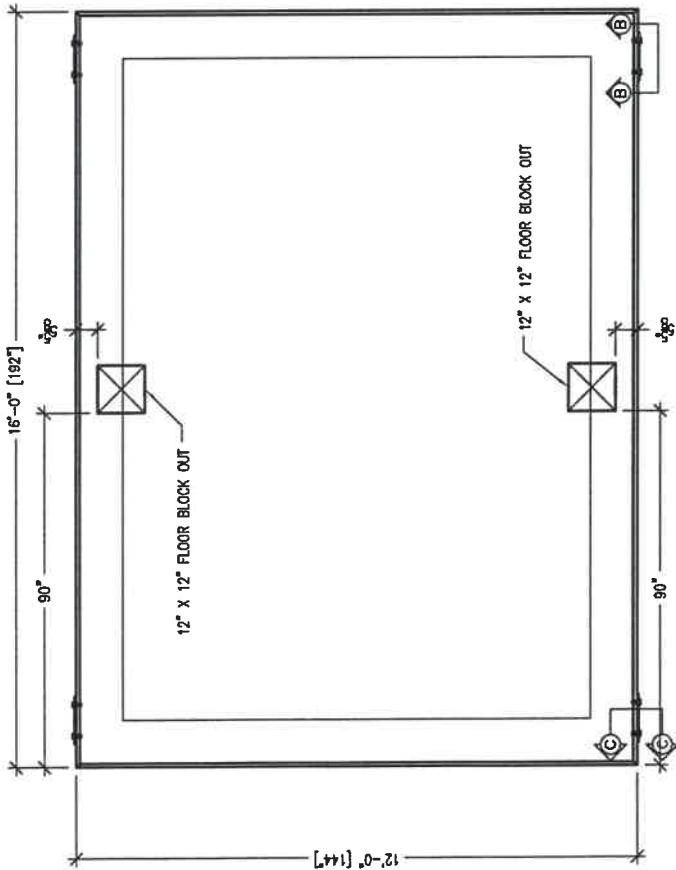


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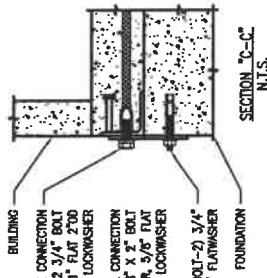
1800 DAVENPORT DRIVE, MINDEN, LA 71055 PH: (800) 824-2814 www.fibrecord.com	<b>FIBRECORD</b>
ISSUED FOR: <b>APPROVAL A.01*</b>	
ALL WEST COMMUNICATIONS	
12' - 0" X 16' - 0" BUILDING	
HALO GROUNDING DETAIL	
DATE: 21-DEC-2020	DATE: 3-5
BY: GD	BY: PM
CHK: JC	CHK: AP
APP: JC	APP: AP
DWG NO.: B	DWG NO.: D11401

**NOTES:**

1. SLAB TO BE LEVEL  $\pm 1/4"$ .
2. FOOTING TO EXTEND A MINIMUM OF 24" BELOW UNDISTURBED SOIL AND FROST LINE.
3. FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
4. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
5. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27.
6. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI.

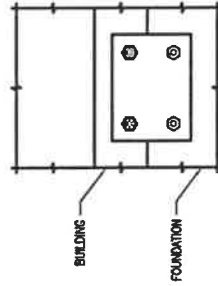


**SLAB FOUNDATION**  
SCALE: 3/8"=1'-0"

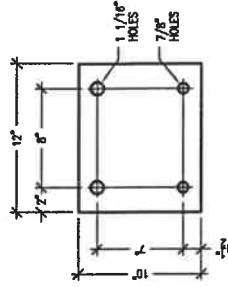


**SECTION 'C-C'**  
N.T.S.

- BUILDING**
- USE FOR SIDE CONNECTION  
863-00073, 1" X 2 3/4" BOLT  
865-11504, WASHER, 1" FLAT 2700  
865-11505, 1" LOCKWASHER
- USE FOR END WALL CONNECTION  
863-11490, 5/8" X 2" BOLT  
865-12963, WASHER, 5/8" FLAT  
865-11510, 5/8" LOCKWASHER
- FOUNDATION**
- 864-00038 (SIMPSON STRONG BOLT-2) 3/4"  
X 6 1/4" WEDGE ANCHOR W/ FLATWASHER



**SECTION 'B-B'**  
N.T.S.

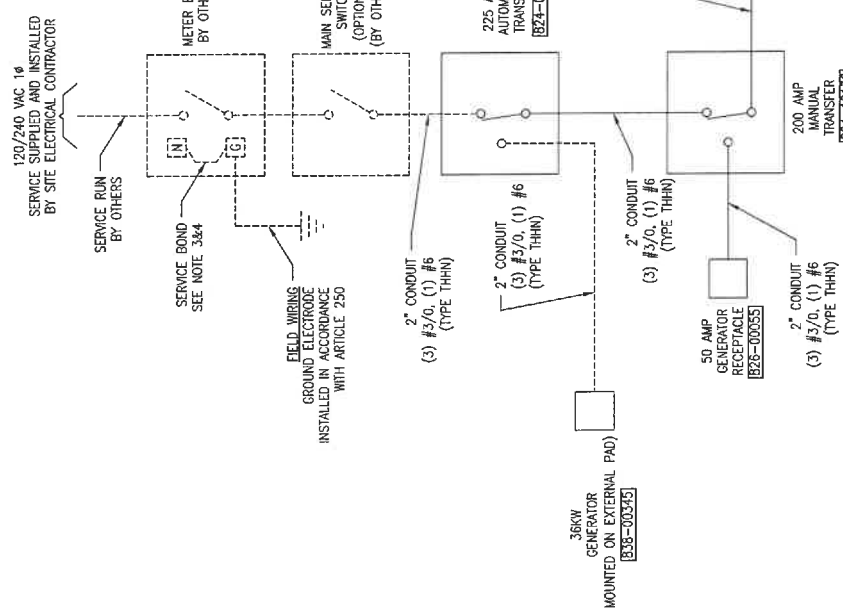


**187268 THE DOWN PLATE**  
RW MATERIAL 3/8" PLATE  
N.T.S.



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ALL WEST COMMUNICATIONS 12'-0" x 16'-0" BUILDING		*APPROVAL A.01* APPROVAL FROM DATABASE	
FOUNDATION PLAN		THRU ANGLE PROJECTION	
DATE: 03-DEC-2021	TIME: 4:07 PM	SCALE: NOTED	SHEET NO: 1-1
BY: JC	BY: JC	DATE:	DATE:
APP: ROUSON	DATE:	BY:	TFW NO.: D11401

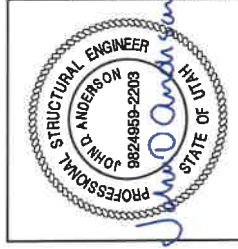




POWER RISER BLOCK DIAGRAM

- NOTES:
1. ----- DASHED LINES DENOTE FIELD WORK.
  2. BUILDING ELECTRICAL SYSTEM IS RATED AT 10,000 A.I.C. IF HIGHER RATINGS ARE REQUIRED, IT IS THE RESPONSIBILITY OF SITE CONTRACTOR/ ENGINEER TO MEET SUCH REQUIREMENTS.
  3. SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC.) SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH THE LATEST STATE APPROVED NEC ARTICLE 250.
  4. WHEN SERVICE OVERCURRENT DISCONNECT IS FIELD INSTALLED AND HAS A NEUTRAL TO GROUND CONNECTION ESTABLISHED, REMOVE NEUTRAL TO GROUND CONNECTION IN MANUAL TRANSFER.
  5. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (ARTICLE 240).
  6. CONDUCTOR SIZING IS SELECTED FROM NATIONAL ELECTRIC CODE (ARTICLE 215).
  7. ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARRELL CONNECTIONS.
  8. ALL CONDUCTORS SHALL BE COPPER.
  9. LABEL SERVICE DISCONNECT WITH A RED TAG.
  10. RECOMMENDED SERVICE ENTRANCE CONDUCTOR SIZE: (3) 3/0 AWG & (1) #4 GROUND

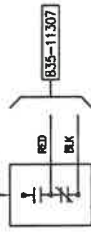
100 SWEIGHT DRIVE, IRVING, LA 71665 PH: (800) 684-2616 WWW.FIBREBOND.COM		<b>FIBREBOND</b>	
DESIGNED FOR: ALL WEST COMMUNICATIONS		PROJECT FOR: "APPROVAL A01"	
12'-0" X 16'-0" BUILDING		APPROVALS IN PDN DATABASE	
ELECTRICAL SCHEMATIC #2		THIRD ANGLE PROJECTION	
DATE: 18-DEC-2020	BY: JC	SCALE: N.T.S.	SHEET NO: 5-2
DATE:	BY:	SEE DWG NO.:	B
DATE:	BY:	DATE:	D11401



**INTRUSION ALARM**

THE MAGNETIC DOOR ALARMS ARE WIRED NORMALLY OPEN. CONTACTS CLOSE UPON DOOR CLOSURE. WHEN DOOR IS OPENED, CONTACTS OPEN SENDING AN ALARM.

848-11351

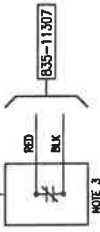


835-11307

**HIGH TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE INCREASE (ON RES) ABOVE THE SET POINT SENDING AN ALARM. PULL FROM CONTROLLER TERMINALS 9 & 25.

833-10877

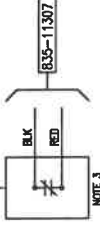


835-11307

**LOW TEMPERATURE ALARM**

CONTACTS OPEN UPON TEMPERATURE DECREASE (ON RES) BELOW SET POINT SENDING AN ALARM. PULL FROM CONTROLLER TERMINALS 10 & 20.

833-10877



835-11307

**SMOKE DETECTOR LOCATION**

THE SMOKE ALARM CONTACTS ARE NORMALLY CLOSED UNDER A "NO SMOKE" CONDITION. WHEN SMOKE IS DETECTED THESE CONTACTS OPEN SENDING AN ALARM.

848-00070

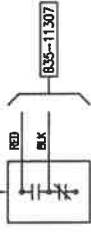


835-11307

**COMMERCIAL POWER FAIL**

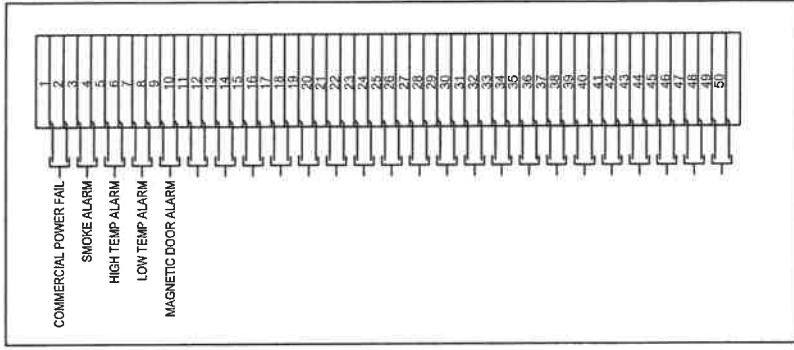
THE COMMERCIAL POWER FAIL RELAY IS CONNECTED TO EACH PHASE OF THE COMMERCIAL POWER IS THE POWER SUPPLIED BY THE UTILITY COMPANY. THE NORMALLY OPEN CONTACTS CLOSE UPON POWER UP OF THE BUILDING. CONTACTS OPEN UPON LOSS OF COMMERCIAL POWER SENDING AN ALARM. THIS ALARM MUST NOT BE CONNECTED TO THE SYSTEMS SUCH THAT DECREASED POWER FROM EMERGENCY POWER SOURCE OR ANY OTHER EMERGENCY POWER SOURCE.)

827-12964



835-11307

**ALARM TERMINAL BLOCK 835-11307**



- NOTES:**
- ALARM STATES SHOWN ARE THE CONDITION AT THE ALARM BLOCK WITH BUILDING POWERED BY COMMERCIAL POWER.
  - ALARM WIRES TO BE 27/2 SOLID WIRE UNLESS OTHERWISE SPECIFIED.
    - N.C.=BLK
    - C.=RED
    - N.O.=BLK
  - SEE ELEC-0074 FOR SPECIFIC TERMINAL LOCATIONS.
  - FOR DC, PLEASE TAPE & TAG ACCORDING TO ELECTRICAL SCHEMATIC #2.
  - GENERATOR ALARMS TO BE PULLED ONLY WHEN GENERATOR IS INSTALLED @ FIBREBOND
  - APPLY A PERMANENT HEAT SHRINK LABEL TO THE INSULATING JACKET AT EACH END OF THE 2-CONDUCTOR ALARM CABLE. PRINT THE NAME OF THE SPECIFIC ALARM FROM THE DIRECTORY ON ALARM WIRING SHEET #2.
  - TAG ALL ALARM WIRES.

REFERENCE DRAWINGS REQUIRED TO COMPLETE THIS SHEET

DRAWING NO.	DESCRIPTION
ELEC-0103	DM T-STAT - MARKW/ A/C UNIT W/ OR W/O ECONOMIZERS



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FIBREBOND	
REVISIONS	
*APPROVAL A.01*	APPROVALS IN PDM
ALL WEST COMMUNICATIONS	THURSDAY PROTECTION
12'-0" X 16'-0" BUILDING	SCALE
ALARM WIRING SHEET #1	SHEET NO. 5-3
DATE: 15-DEC-2020	DATE: 15-DEC-2020
APP. BY: JC	APP. BY: JC
CHK. BY: JC	CHK. BY: JC
DATE: 15-DEC-2020	DATE: 15-DEC-2020
SIZE: B	DWG NO.: D11401

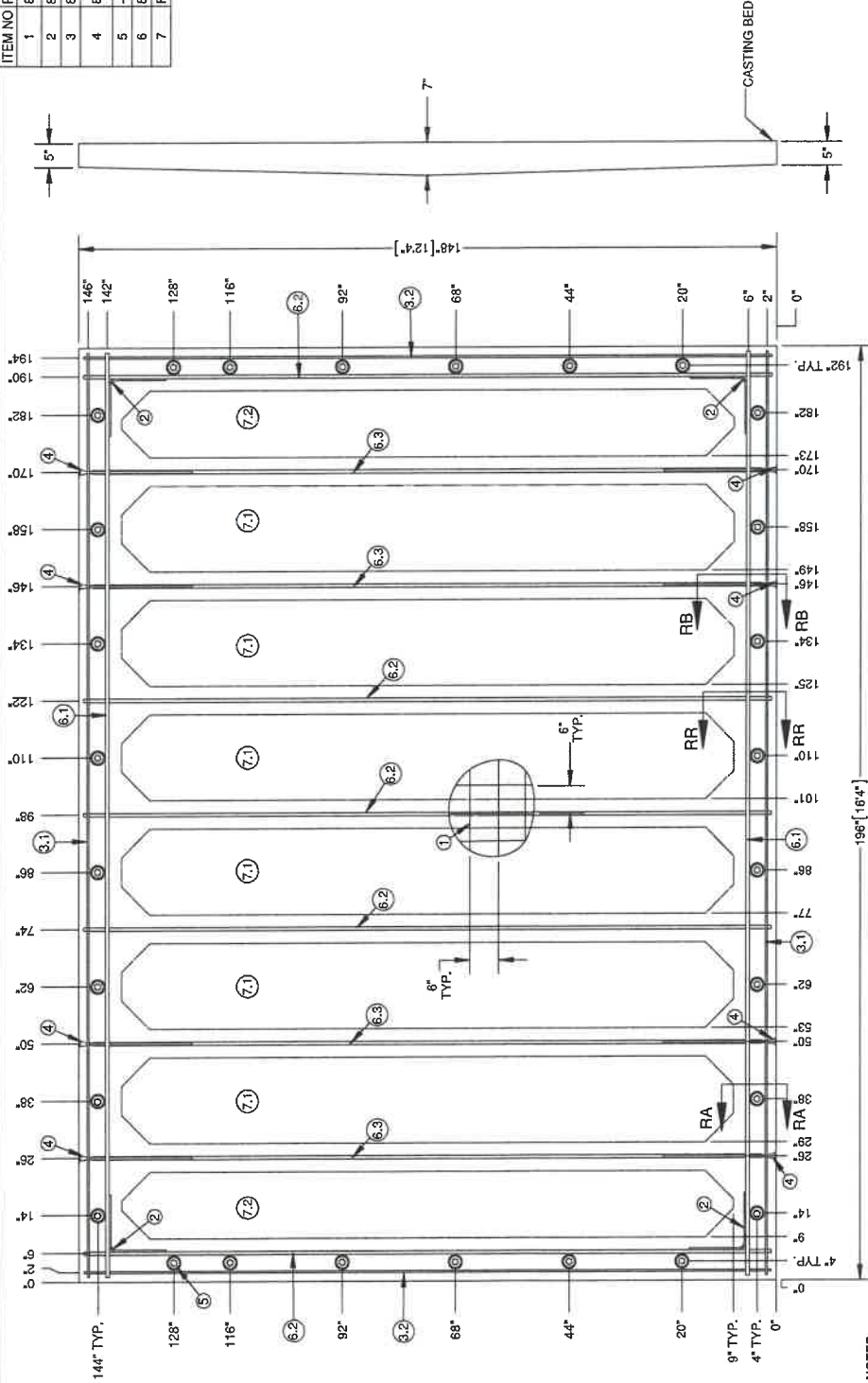
ITEM NO	PART NUMBER	DESCRIPTION	QTY.
1	810-11400	WIRE MESH, 11'-6" X 20' D5-D5	0.87
2	810-11450	REBAR BEND, #3 X 24" 90 DEG	4
3	810-11442	REBAR, #3 (3/8") GRADE 60	56.67
4	808-40448	SPLICER, #4 X 24" DOWEL BAR 78194 (USA - 100%)	8
5	-	POCKET FORMER	28
6	810-11443	REBAR #6, (3/4") GRADE 60	140.5
7	FOAM	3" EPS FOAM INSULATION	-

ITEM NO	DESCRIPTION	QTY.	LENGTH
6.1	#6 REBAR	2	194"
6.2	#6 REBAR	5	146"
6.3	#6 REBAR	4	142"

ITEM NO	DESCRIPTION	QTY.	LENGTH
3.1	#3 REBAR	2	194"
3.2	#3 REBAR	2	146"

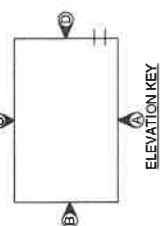
ITEM NO	DESCRIPTION	QTY.	LENGTH	WIDTH
7.1	FOAM	6	130"	18"
7.2	FOAM	2	130"	14"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"



**STRUCTURAL LAYOUT, ROOF**  
201.44 sq.ft

- NOTES:**
1. ALL REBAR GRADE 60 TYPICAL; SEE STRUCTURAL MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.
  2. DIAGONAL DIMENSION - 245 5/8"
  3. ALL REBAR TO BE TIED AT EACH CROSS OVER.
  4. REFER 6-7 STRUCTURAL ROOF SECTION DETAILS SHEET FOR CASTING DETAILS.



1300 DAVENPORT DRIVE, MINDEN, LA 71055 ph. (800) 924-2614, www.fibrebond.com	
ISSUES FOR: ALL WEST COMMUNICATIONS	
PROJECT: 12' - 0" X 16' - 0" BUILDING	
DESCRIPTION: STRUCTURAL LAYOUT, ROOF	
DATE: 04-JAN-2021	DATE: 04-JAN-2021
DRN: GD	APP: PM
DW: JC	CHK: JC
DATE:	DATE:
SCALE: 1/24	SHEET NO: 6-1
SIZE: 10x14	SEE DWG NO: B
DT1401	

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ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	-	POCKET FORMER	28
2	810-11450	REBAR BEND, #3 X 24" 90 DEG	4
3	810-11442	REBAR#3 (3/8") GRADE 60	55.33
4	193544	WELD PLATE ASSY 3/8" X 4" X 4" W/ 1/2" X 2 5/8" NELSON STUD	2
5	197748	INTERNAL LIFTING ANGLE ASSEMBLY 3/8" X 4" X 4" W/ SAND CENTER	4
6	810-11443	REBAR#6 (3/4") GRADE 60	172.33
7	809-00001	EPS PURCHASE FOAM INSULATION - 130" X 18" X 4"	-
8	FOAM	6" EPS FOAM INSULATION	-
9	810-11400	WIRE MESH, 11'-6" X 20' D5-D5	0.83

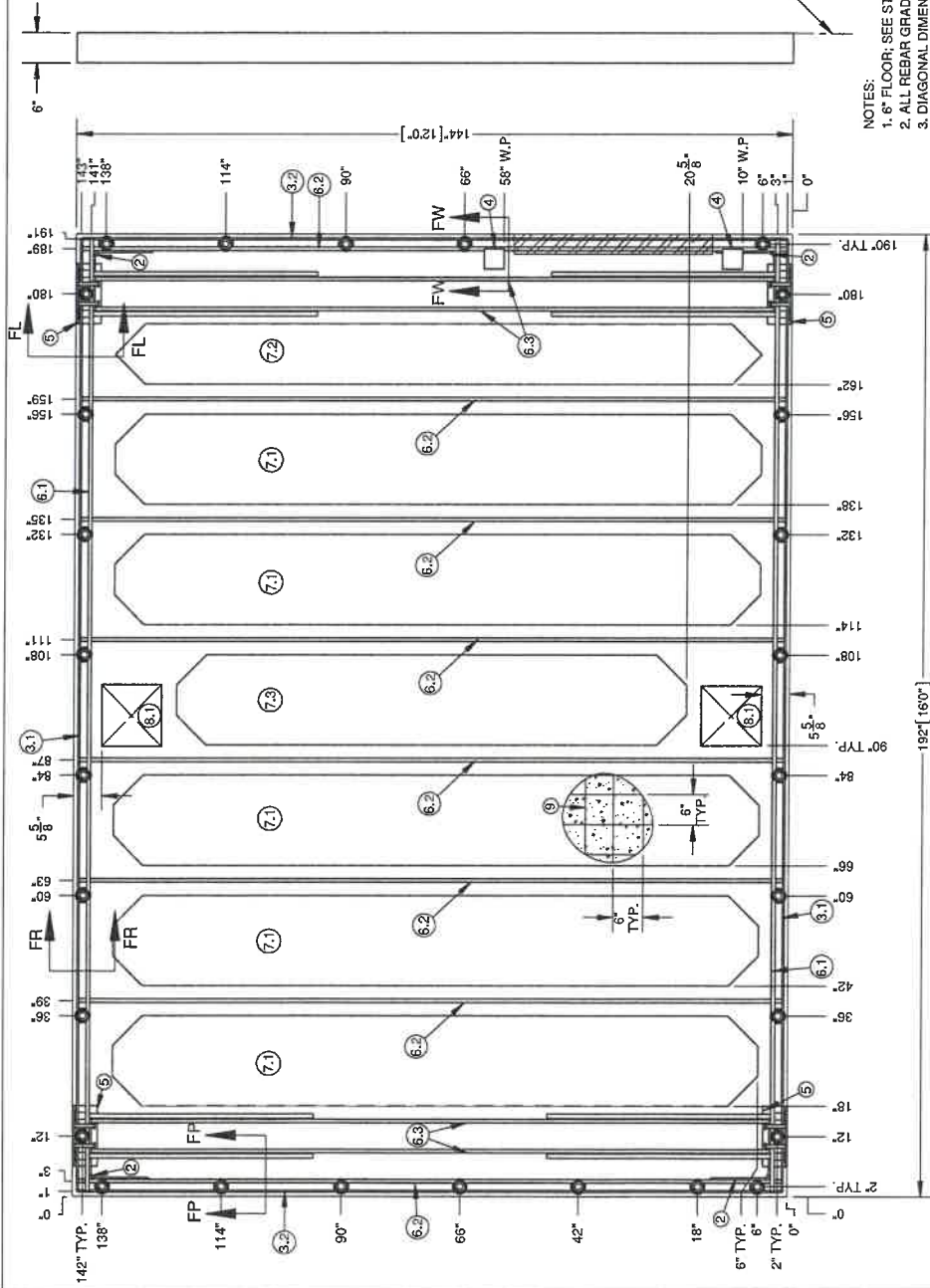
ITEM NO	DESCRIPTION	QTY.	LENGTH
3.1	#3 REBAR	2	190"
3.2	#3 REBAR	2	142"

ITEM NO	DESCRIPTION	QTY.	LENGTH
6.1	#6 REBAR	2	190"
6.2	#6 REBAR	8	142"
6.3	#6 REBAR	4	138"

ITEM NO	DESCRIPTION	QTY.	LENGTH	WIDTH
7.1	FOAM	5	130"	18"
7.2	FOAM	1	130"	12"
7.3	FOAM	1	102 3/4"	18"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"

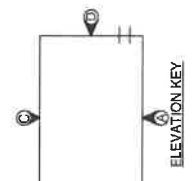
ITEM NO	QTY.	DESCRIPTION	LENGTH	WIDTH
8.1	2	FOAM	12"	12"



NOTES:

1. 6" FLOOR: SEE STRUCTURAL MISC. DETAIL SHEET.
2. ALL REBAR GRADE 60 TYPICAL SEE MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.
3. DIAGONAL DIMENSION - 2' 5 1/2"
4. REBAR AROUND PERIMETER TO BE TIED AT EACH CROSSOVER. REMAINDER TO BE TIED AT EVERY 4TH CROSSOVER. APPROX. 2'-0" O.C.
5. PREPARE FLOOR FOR TILE TO CONCRETE.
6. REFER SHEET 6-8 STRUCTURAL FLOOR SECTION DETAILS SHEET FOR CASTING DETAIL.

**STRUCTURAL LAYOUT, FLOOR**  
192 sq.ft

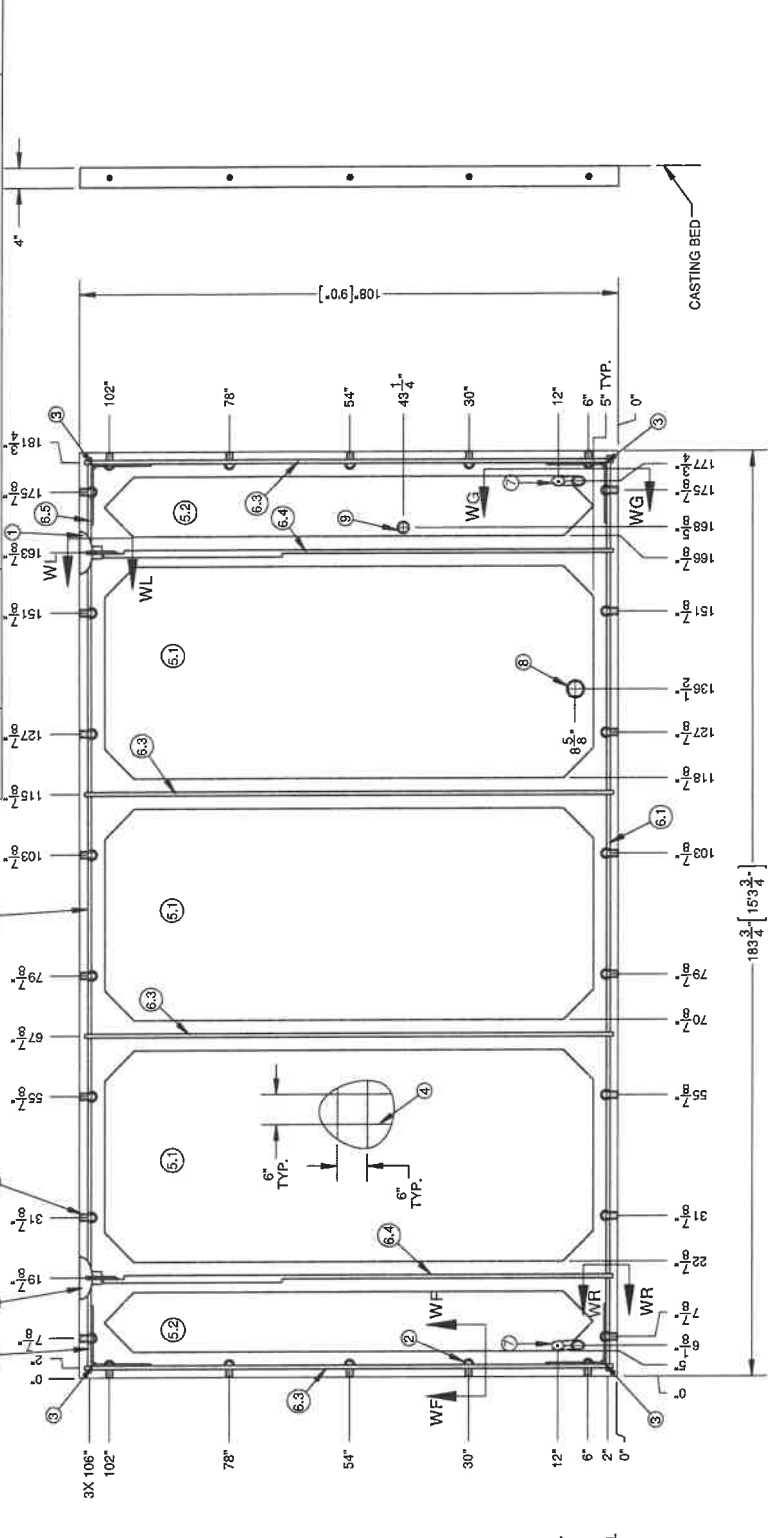


1300 DAVENPORT DRIVE, MINDEN, LA 71055 Ph: (807) 284-2614 www.fibrebond.com		<b>FIBREBOND</b> USA INC. FOR:
ALL WEST COMMUNICATIONS		*APPROVAL A.01*
12'-0" X 16'-0" BUILDING		APPROVAL FROM DATABASE
STRUCTURAL LAYOUT, FLOOR		THIRD ANGLE PROJECTION
DATE: 04-JUN-2021	BY: PM	SCALE: 1/24
DATE:	BY:	SHEET NO: 6-2
DATE:	BY:	SIZE: DWG VOL.
		B DT1401

REV.	RY.	DATE	REVISION

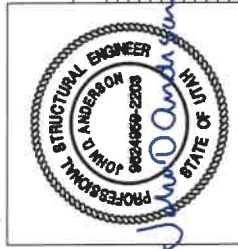
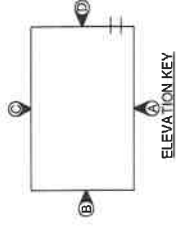
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OFFICE OF THE  
PROJECT MANAGER.  
APP.

ITEM NO	DESCRIPTION	QTY.	LENGTH	WIDTH	ITEM NO	DESCRIPTION	QTY.	LENGTH	WIDTH
6.1	#6 REBAR	1	181' 3/4"	42"	1	198228	ERECTOR HEAD ANCHOR ASSY WITH SHEAR PLATE, 3'-0"	3'-0"	42"
6.2	#6 REBAR	1	1' 40"	11' 7/8"	2	806-11377	Insert, 5/8"-11 (F-42) 122450 (USA - 100%)	122450 (USA - 100%)	11' 7/8"
6.3	#6 REBAR	4	106"	11' 7/8"	3	810-11450	REBAR BEND, #3 X 24" 90 DEG		11' 7/8"
6.4	#6 REBAR	2	98"	11' 7/8"	4	810-11400	WIREMESH, 11'-6" X 20' D5-D5		11' 7/8"
6.5	#6 REBAR	2	16' 7/8"		5	809-13622	EPS PURCHASE FOAM INSULATION - 98" X 42" X 1 1/2"		16' 7/8"
					6	810-11443	REBAR, #6 (3/4") A615 GRADE 60		16' 7/8"
					7	-	1 1/2" PVC CAST @ 45°		
					8	-	3" SCH 40 PVC PENETRATION CAST STRAIGHT THROUGH		
					9	-	2" SCH 40 PVC PENETRATION CAST STRAIGHT THROUGH		



**STRUCTURAL LAYOUT, SIDE PANEL-A**  
137.81 sqft

- NOTES:
1. TYPICAL 4" WALL PANEL; SEE STRUCTURAL MISC. DETAIL SHEET.
  2. SIDE PANEL CAST EXTERIOR SIDE UP.
  3. ALL REBAR GRADE 60 TYPICAL; SEE STRUCTURAL MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.
  4. DIAGONAL DIMENSION - 213 1/8"
  5. ALL REBAR TO BE TIED AT EACH CROSS OVER.
  6. REFER 6-9 STRUCTURAL WALL SECTION DETAILS SHEET FOR CASTING DETAILS.



1300 DAVENPORT DRIVE, MINDEN, LA 71055  
PH: (504) 224-2514, WWW.FIBREBOND.COM

**FIBREBOND**

ISSUES FOR:  
**"APPROVAL A.01"**

APPROVALS IN PDF  
THIRD ANGLE  
PROJECTION

SCALE  
1:24

SHEET NO:  
6-3

DATE: 31-DEC-2020

DATE: DATE: DATE:

BY: GD  
BY: JC  
BY: JC

DWG NO.:  
B

DT1401

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BEEN ADVISED BY THE  
DRAWING NOTES TO  
THEIR CONTRACTORS TO  
PROTECT THEMSELVES FROM  
LITIGATION.

APP: \_\_\_\_\_

REV: | BY: | DATE: | REVISION:



ITEM NO.	DESCRIPTION	QTY.	LENGTH
3.1	#3 REBAR	2	106"

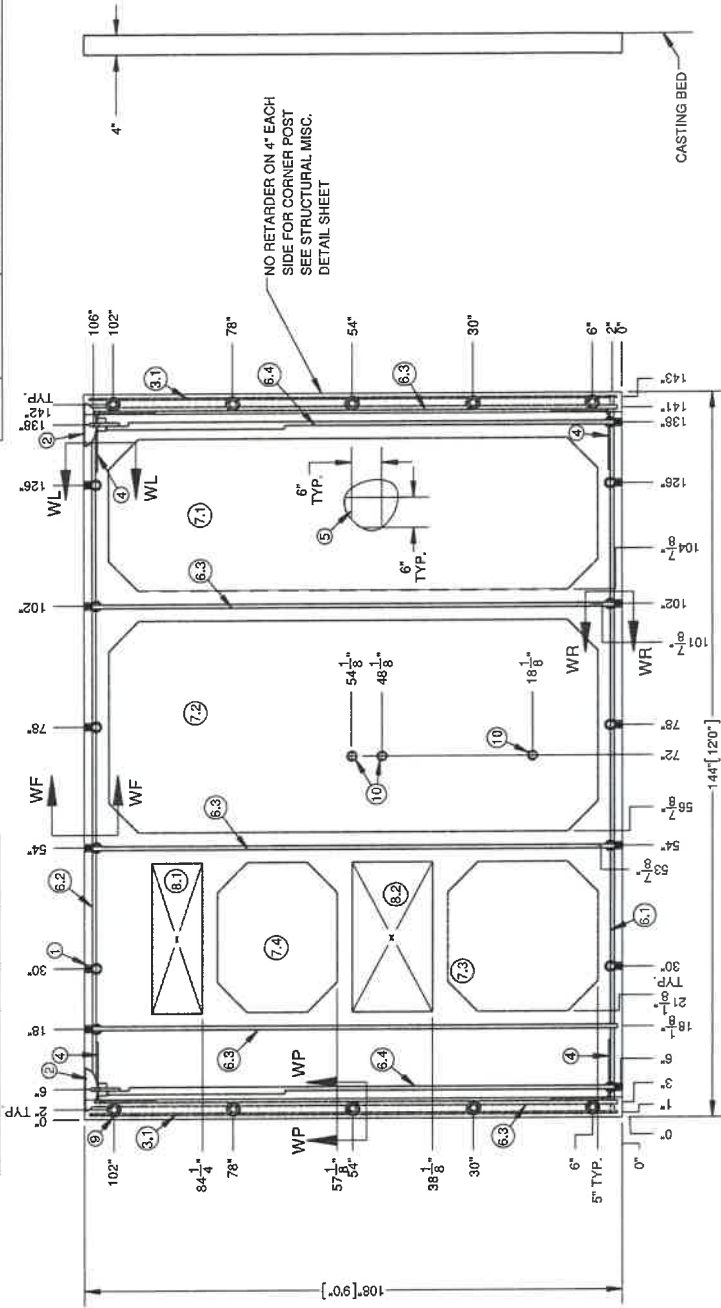
ITEM NO.	DESCRIPTION	QTY.	LENGTH
6.1	#6 REBAR	1	142"
6.2	#6 REBAR	1	128"
6.3	#6 REBAR	5	106"
6.4	#6 REBAR	2	98"

ITEM NO.	DESCRIPTION	QTY.	LENGTH	WIDTH
7.1	FOAM	1	98"	30 1/8"
7.2	FOAM	1	98"	42"
7.3	FOAM	1	30 1/8"	29 3/4"
7.4	FOAM	1	24 1/8"	29 3/4"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"

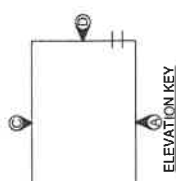
ITEM NO.	DESCRIPTION	QTY.	LENGTH	WIDTH
8.1	FOAM	1	10"	29 3/4"
8.2	FOAM	1	16"	29 3/4"

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	806-11377	Insert, 5/8"-11 (F-42) 122450 (USA - 100%)	13
2	199228	ERECTOR HEAD ANCHOR ASSY WITH SHEAR PLATE, 3'-0"	2
3	810-11442	REBAR, #3 (3/8") GRADE 60	17.67
4	810-11450	REBAR BEND, #3 X 24" 90 DEG	4
5	810-11400	WIRE MESH, 11'-6" X 20'-0" D5-D5	0.46
6	810-11443	REBAR#6 (3/4") GRADE 60	83
7	809-13622	EPS PURCHASE FOAM INSULATION - 98" X 42" X 1 1/2"	-
8	-	4" EPS FOAM INSULATION	-
9	-	POCKET FORMER	-
10	-	1 1/2" SCH 40 PVC PENETRATION CAST STRAIGHT THROUGH	3



STRUCTURAL LAYOUT, END PANEL-B  
108 sq.ft

- NOTES:
1. TYPICAL 4" WALL PANEL; SEE STRUCTURAL MISC. DETAIL SHEET.
  2. END PANEL CAST EXTERIOR SIDE UP.
  3. ALL REBAR GRADE 60 TYPICAL; SEE STRUCTURAL MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.
  4. DIAGONAL DIMENSION - 180"
  5. ALL REBAR TO BE TIED AT EACH CROSS OVER.
  6. REFER 6-9 STRUCTURAL WALL SECTION DETAILS SHEET FOR CASTING DETAILS.



REV.	BY	DATE	REVISION

1390 DAVENPORT DRIVE, MINDEN, LA 70555  
PH: (504) 824-2514 www.fibrebond.com

**FIBREBOND**

ISSUED FOR:  
"APPROVAL A.01"

APPROVALS IN FOM  
DATABASE

THIRD ANGLE  
PROJECTION

SCALE  
1/32"

SHEET NO:  
6-4

DWG. NO.:  
B

D11401

12' - 0" X 16' - 0" BUILDING  
STRUCTURAL LAYOUT, END PANEL-B

DATE: 04-JAN-2021  
APP: PM  
DATE: 04-JAN-2021  
DATE: 04-JAN-2021  
BY: JC

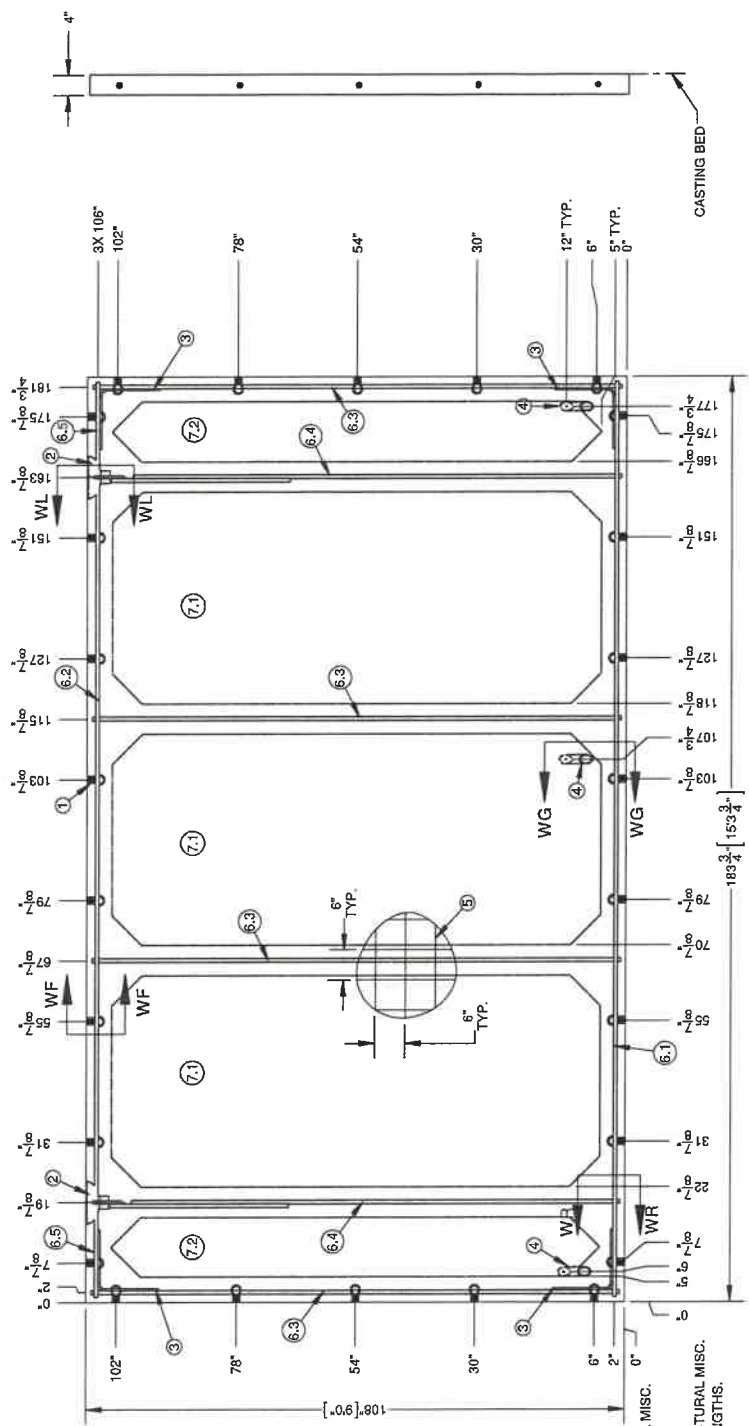
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OF THE LAW.

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	806-11377	Insert, 5/8" x 11 (F-42) 122450 (USA - 100%)	26
2	198228	ERECTION HEAD ANCHOR ASSY WITH SHEAR PLATE, 3'-0"	2
3	810-11450	REBAR BEND, #3 X 24' 90 DEG	4
4	-	1 1/2" PVC CAST @ 45°	3
5	810-11400	WIRE MESH, 11'-6" X 20' D5-D5	0.59
6	810-11443	REBAR, #6 (3/4"), GRADE 60	81.29
7	809-13622	EPS PURCHASE FOAM INSULATION - 98" X 42" X 1 1/2"	-

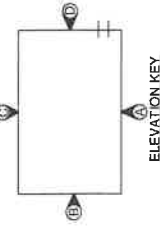
ITEM NO	DESCRIPTION	QTY.	WIDTH	LENGTH
7.1	FOAM	3	42"	98"
7.2	FOAM	2	11 7/8"	98"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"

ITEM NO	DESCRIPTION	QTY.	LENGTH
6.1	#6 REBAR	1	181 3/4"
6.2	#6 REBAR	1	140"
6.3	#6 REBAR	4	108"
6.4	#6 REBAR	2	98"
6.5	#6 REBAR	2	16 7/8"



- NOTES:
1. TYPICAL 4" WALL PANEL; SEE STRUCTURAL MISC. DETAIL SHEET.
  2. SIDE PANEL CAST EXTERIOR SIDE UP.
  3. ALL REBAR GRADE 60 TYPICAL; SEE STRUCTURAL MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.
  4. DIAGONAL DIMENSION - 213 5/8"
  5. ALL REBAR TO BE TIED AT EACH CROSS OVER.
  6. REFER 6-9 STRUCTURAL WALL SECTION DETAILS SHEET FOR CASTING DETAILS.



STRUCTURAL LAYOUT, SIDE PANEL - C  
137.813 sq. ft.



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DESIGNED FOR: FIBREBOND	
APPROVALS IN PDM DATABASE	
ALL WEST COMMUNICATIONS	
12' - 0" X 16' - 0" BUILDING	
STRUCTURAL LAYOUT, SIDE PANEL-C	
DRN. GD	APP. BY: PM
DATE: 04-JAN-2021	DATE:
CHK. JC	APP. BY:
DATE:	DATE:
SIZE: B	DWG NO.: D11401

ITEM NO.	DESCRIPTION	QTY.	LENGTH
3.1	#3 REBAR	2	106"
7.1	FOAM	1	98"
7.2	FOAM	1	80 1/2"
7.3	FOAM	1	42"
7.4	FOAM	1	24"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"

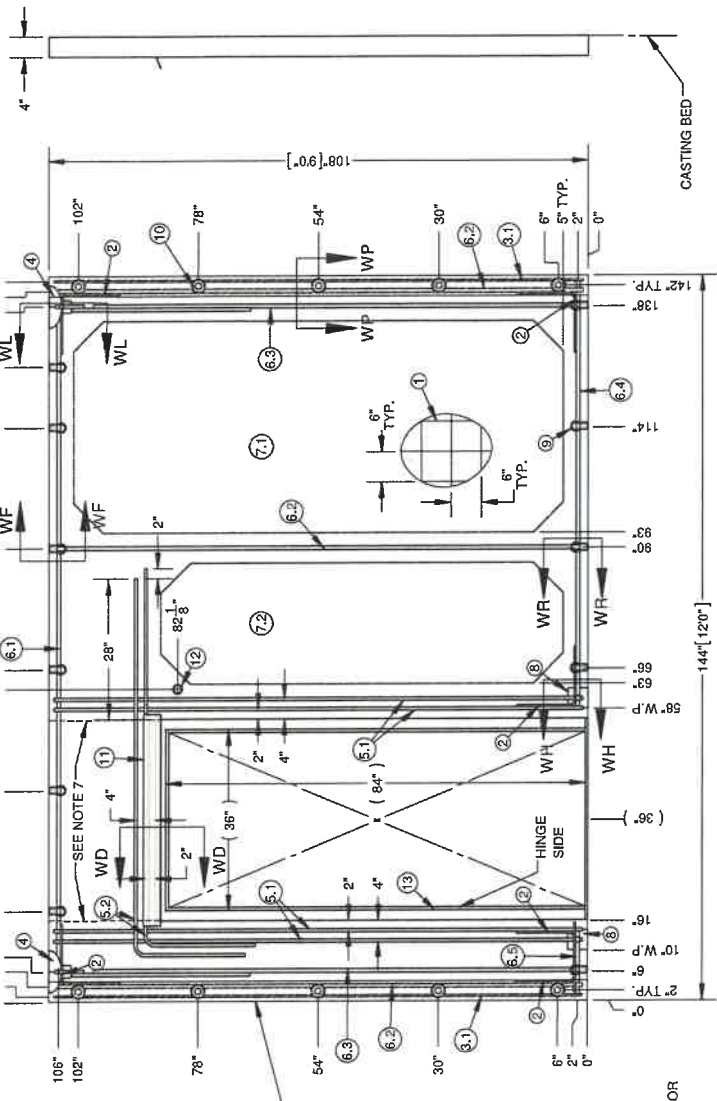
ITEM NO.	DESCRIPTION	QTY.	LENGTH
5.1	#5 REBAR	4	106"
5.2	#5 REBAR	2	96"

ALL FOAM CORNERS ARE TO BE CHAMFERED 6"

ITEM NO.	DESCRIPTION	QTY.	LENGTH
6.1	#6 REBAR	1	128"
6.2	#6 REBAR	3	106"
6.3	#6 REBAR	2	98"
6.4	#6 REBAR	1	85"
6.5	#6 REBAR	1	13"

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
9	806-11377	Insert, 5/8"-11 (F-42) 122460 (USA - 100%)	11
10		POCKET FORMER	10
11	847-00345	DRIP STRIP, 42" CAST-IN 18 GAUGE GALVANIZED STEEL, EDGES SPRAYED COLD GALV	1
12		1 1/2" SCH 40 PVC PENETRATION CAST STRAIGHT THROUGH	1
13	190881	DOOR FRAME ASSEMBLY 3070 RH 4 INCH 14 GAUGE GALVANIZED SINGLE RABBIT WITH 1/2 INCH C CHANNEL PREMIER	1

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	810-11400	WIRE MESH, 11'-6" X 20'-0" D5-D5	0.47
2	810-11450	REBAR BEND, #3 X 24" 90 DEG	6
3	810-11442	REBAR, #3 (3/8") GRADE 60	17.67
4	198228	ERECTION HEAD ANCHOR ASSY WITH SHEAR PLATE, 3'-0"	2
5	810-40462	REBAR, #5 (5/8") GRADE 60	51.33
6	810-11443	REBAR, #6 (3/4") GRADE 60	61.67
7	809-13822	EPS PURCHASE FOAM INSULATION - 98" X 42" X 1 1/2"	-
8	193544	WELD PLATE ASSY 3/8" X 4" X 4" W/ 1/2" X 2 5/8" NELSON STUD	2



NO RETARDER ON 4" EACH SIDE FOR CORNER POST SEE STRUCTURAL MISC. DETAIL SHEET

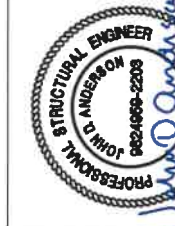
REBAR #5

1. TYPICAL 4" WALL PANEL; SEE MISC. DETAIL SHEET.  
 2. END PANEL CAST EXTERIOR SIDE UP.  
 3. ALL REBAR GRADE 60 TYPICAL; SEE MISC. DETAIL SHEET FOR REBAR SIZE & SPLICE LENGTHS.  
 4. DIAGONAL DIMENSION - 180"  
 5. ALL REBAR TO BE TIED AT EACH CROSS OVER.  
 6. REFER 6-9 WALL SECTION DETAILS SHEET FOR CASTING DETAILS.  
 7. FOR ALL AGGREGATE FINISHES: FLOAT IN CONTROL JOINT  
 FB9816-22500. CAULK SEAM. FOR ALL OTHER FINISHES: SAW CUT 1/8" WIDE x 1/8" DEEP CONTROL JOINT.



ELEVATION KEY

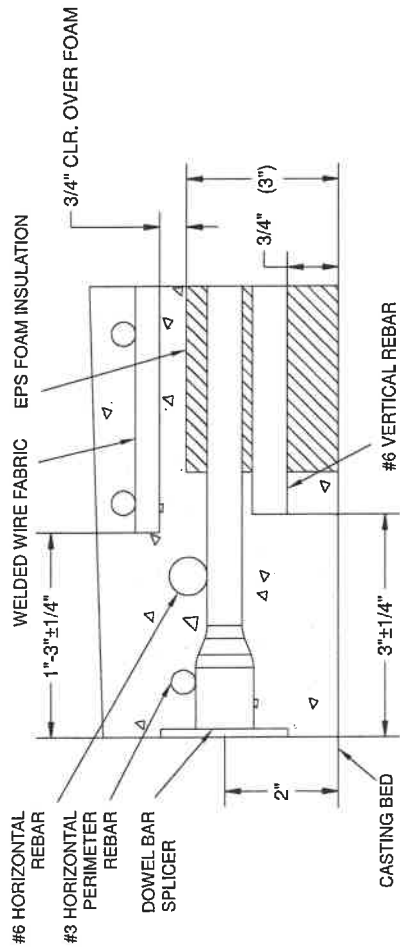
STRUCTURAL LAYOUT, END PANEL - D  
 109.00 sq.ft.



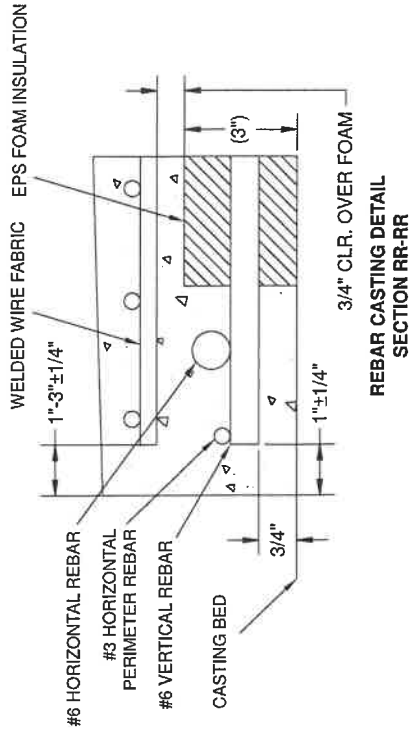
1800 DAVENPORT DRIVE MINDEN, LA 71055 Ph. (800) 924-2814 www.fibrebond.com	
FIBREBOND	
ALL WEST COMMUNICATIONS	
12' - 0" X 16' - 0" BUILDING	
STRUCTURAL LAYOUT, END PANEL - D	
DATE: 04-JAN-2021	DATE:
BY: GD	BY: JC
DATE: 04-JAN-2021	DATE:
SCALE: 1/24	SCALE: 1/24
SIZE: C-6	SIZE: C-6
APPROVAL A.O.I.	APPROVAL A.O.I.
THIRD ANGLE PROJECTION	THIRD ANGLE PROJECTION
DWG NO.:	DWG NO.:
DT14001	DT14001

REV.	BY	DATE	REVISION

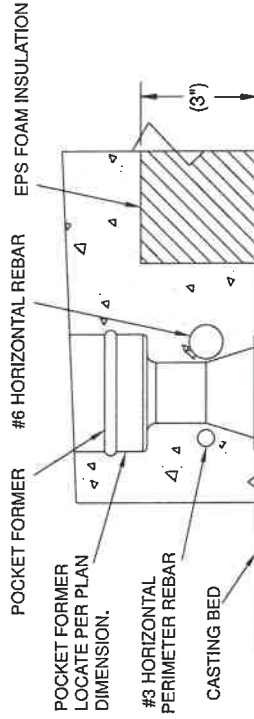
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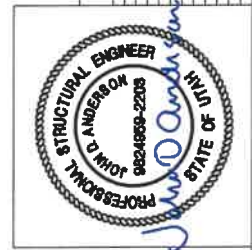
**DOWEL BAR DETAIL  
SECTION RB-RB**



**REBAR CASTING DETAIL  
SECTION RR-RR**



**POCKET FORMER DETAIL  
SECTION RA-RA**



THESE SHALL BE THE CONSENTING PARTY FIBRECORD CORPORATION, 1300 DAVENPORT DRIVE, MINDEN, LA 71055 PH. (800) 864-2614, WWW.FIBRECORD.COM		<b>FIBRECORD</b> RESULTS FOR: * APPROVAL A.01*	
ALL WEST COMMUNICATIONS 12' - 0" X 16' - 0" BUILDING		APPROVAL BY FCM DATE: 04-JAN-2021 APP. BY: PM	
STRUCTURAL ROOF SECTION DETAILS		THIRD ANGLE PROJECTION	
DRN: GD	DATE:	SCALE: NTS	SHEET NO.: 6-7
EPC: J.C.	DATE:	SIZE: B	DWG NO.: D11401
REV. BY:	DATE:	REVISION:	APP. THEIR CONFIDENTIAL INURE





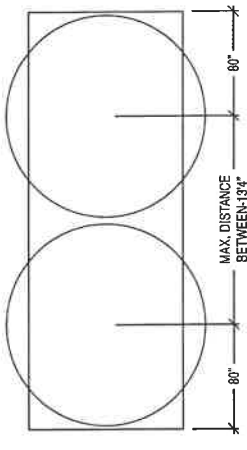
PANEL VOLUME / WEIGHT SCHEDULE			
PANEL	APPROX. VOL. (cfs)	APPROX. WT. (lbs)	L.T. W.T. / NORMAL
ROOF	2.60	8454	NORMAL
FLOOR	2.23	7534	
PANEL "A"	1.22	4025	
PANEL "B"	0.98	3256	
PANEL "C"	1.22	4028	
PANEL "D"	0.63	2810	
<b>TOTAL</b>	<b>9.07</b>	<b>30107</b>	

Refer to individual Structural Layout sheet for actual panel size

**Note:**  
Building weight is an approximation and shall not be used for Challoads or Shipping. Contact Fibrebond Corporation's Transportation Department for correct transportation weights.

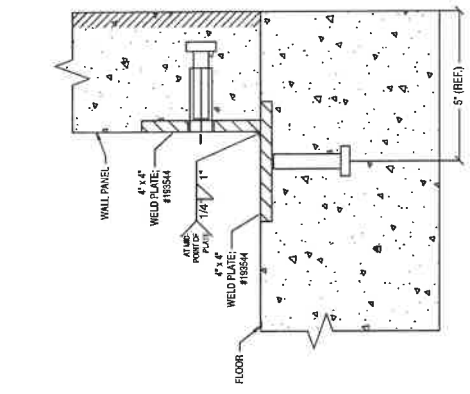
REINFORCING SPLICE SCHEDULE	
SIZE	LIGHTWEIGHT CONCRETE
WWF	8"
#2	12"
#3	17"
#4	22"
#5	28"
#6	33"

Stagger splice locations 2X splice length in adjacent bars

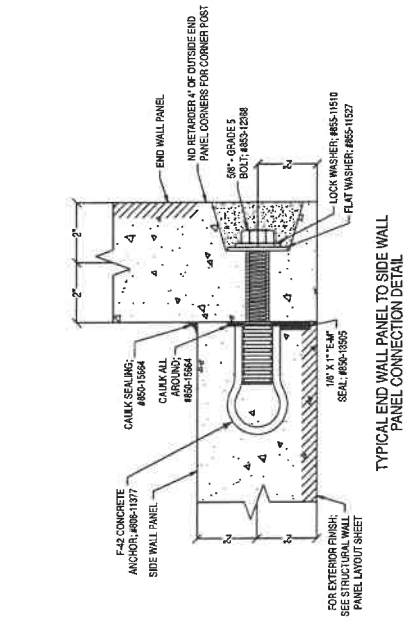


**"D" RING INSTALLATION**

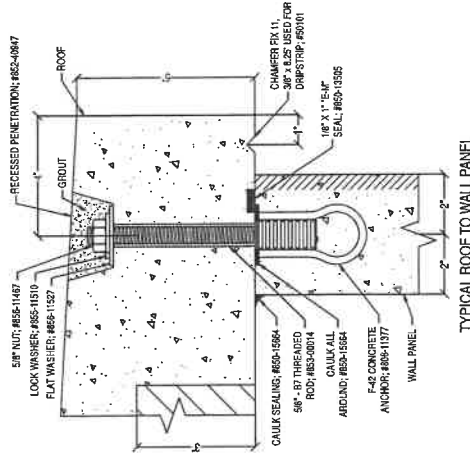
- BUILDING SIZE  
13' or LESS  
14' or 20'  
21' or 26'  
27' or 40'
- D-RINGS  
1  
2  
3  
4



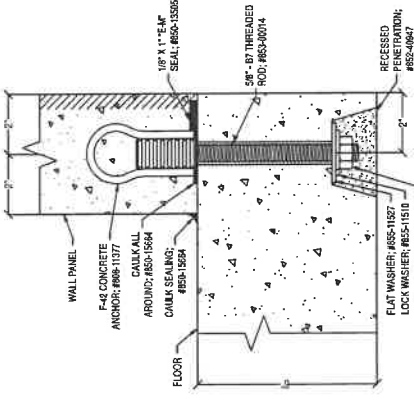
DOOR WELD PLATE CONNECTION DETAIL



TYPICAL END WALL PANEL TO SIDE WALL PANEL CONNECTION DETAIL



TYPICAL ROOF TO WALL PANEL CONNECTION DETAIL



TYPICAL WALL PANEL TO FLOOR CONNECTION DETAIL



**TOTAL SQ. FT. ALL PANELS: 885.07**

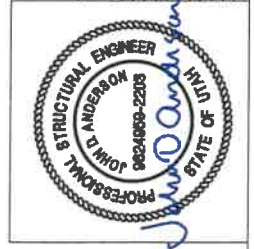
1300 DAVENPORT DRIVE, MINNERA, LA 71055 ph. (800) 824-2814 www.fibrebond.com	
FIBREBOND	
ALL WEST COMMUNICATIONS	
12' x 0' x 16' - 0" BUILDING	
STRUCTURAL MISC. DETAILS	
DRN. GD. BY: JC	DATE: 04-JAN-2021
APP. BY: PM	DATE:
SCALE: NTS 6-10	SHEET NO: 6-10
DATE: 04-JAN-2021	DATE:
APP. BY:	DATE:
DRN. GD. BY: JC	DATE:

WE HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT HAS BEEN REVIEWED AND APPROVED BY ME AS A PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI. I AM NOT PROVIDING ANY OTHER SERVICE OR CONSULTING SERVICE TO THIS PROJECT. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS STRICTLY LIMITED TO THE SCOPE OF THIS PROJECT. I HAVE BEEN ADVISED BY THE CLIENT THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS STRICTLY LIMITED TO THE SCOPE OF THIS PROJECT. I HAVE BEEN ADVISED BY THE CLIENT THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS STRICTLY LIMITED TO THE SCOPE OF THIS PROJECT.

REV.	BY	DATE	REVISION

# ITEM LIST

PART NUMBER	DESCRIPTION	QTY	MFG#1	MFG#1
192777	CABLE TRAY, MOUNTING ANGLE 4"	4		
194341	GROUND BAR HARGER, 1/4"X4"X20" 1" PATTERN COPPER GB14420J NO HARDWARE	1		
194713	CABLE TRAY, ZINC 12" X 116.5" X 1-1/2" CENTRAL STEEL 10012ZY(L) (USA)	2		10012ZY_40/SKID
194715	CABLE TRAY, ZINC 18" X 116.5" CENTRAL STEEL 10018ZY (USA)	3		10018ZY_40/skid
800-00049	NGF End Guard 7" x 24" ADC NGF-ACCEGD007	1		NGF-ACCEGD007
800-00048	NGF Fiber Storage Bay ADC NGF-ACGFOT5B	1		NGF-ACGFOT5B
800-00095	NCNR, BC-4: Cable Bracket Kit, Straight, 4 INC 1265198	72		BC-4/1265198
800-00110	Extender Bracket Kit 19"X23" EXTR-23-19-EIAU-BK	4		EXTR-23-19-EIAU-BK
800-00157	Rectifier, eSure, 2000W, -48VDC, 1R482000E3	2		1R482000E
800-00246	Equipment Rack, Panduit 8" x 19" Black Aluminum EIA #R2P	3		1R482000E
800-00280	Power System, Vertiv NetSure 5100 (includes Dist. Cabinet, 19" 2 Row, 600A) #582137100	1		
800-00281	Battery Modules, Narada 48VDC, 100AH, 19" rack mount, w/20 dry contacts for other alarms, Lithium Ion #48NPFC100	1		
800-00282	Relay Rack, Alpine Power Systems 84" H x 19" W 45RU Welded, #559824	1		
800-00283	Frame, CommScope 30" x 24" x 7" FMDF NGF Optical Distribution Frame #NGF-MDF7A100	1		
800-00284	Fiber Optic Entrance Cabinet, CommScope 2592 ribbon fibers, single drawer #FEC-364	1		
800-00285	Termination Panel, CommScope Rapid Fiber 48-position 1RU indoor RBR LC/UPC/MPO 31M, #RCP-1K4PU03100	2		
800-00286	Termination Panel, CommScope 72-position 3RU Indoor RBRSC UPC MPO, Rapid Fiber #RCP-377PUE03100	10		
800-00287	NGF Fiber Termination Block, CommScope with IFC cable, 144 SC/UPC, singlemode, right oriented #NGF-TB1MLU70ZD031	3		
800-00288	NGF Fiber Termination Block, CommScope w/IFC cable, 144 SC/UPC, singlemode, right oriented #NGF-TB1MHU70ZD031	3		
800-00289	NGF Fiber Termination Block, CommScope 144 LC/UPC, singlemode, left oriented, MPO at rear end, #NGF-MPML0K512	3		
800-00290	NGF Fiber Termination Block, 144 SC/APC, singlemode, right oriented, MPO at rear end, CommScope #NGF-MPMLR0L512	3		
800-00291	Fiber Optic Splice Tray, CommScope FST-D-HS	36		
800-00292	IFC/OSP Three-Tier Cable Clamp Kit, CommScope OSP-CLPFEC	10		
813-00073	TELECOM BOARD 813-00067 3/4" X 48" X 96" NUPOLY 813-00067 WITH 814-00024 CAP TRIM	1		
822-00914	GENERATOR RECEPTACLE COVER, TAYMAC, WEATHERPROOF IN-USE COVER, #MX6200	1		
822-10150	BOX, THOMAS & BETTS 4" X 4" J-BOX 1/2" & 3/4" KO (USA-ARRA) #521711234E	1		
822-10162	BOX, THOMAS & BETTS 4 1/16" DEEP 3/4" & 1" KNOCKOUTS (USA) #2171-3/4 & 1	1		
822-10268	ENCLOSURE, UNITY 6" X 6" X 4" SCRWCVR NK (USA)	1		
822-10365	BOX PASS & SEYMOUR 2" X 4" 1G 1/2" OUTDOOR WEATHERPROOF (IND)	1		
822-12740	Candulet, Thomas & Betts 2" Metal w/Cover (MEX) #MALB-6	1		
822-13401	COVER, PASS & SEYMOUR 4" X 4" W/BLANK (USA)	1		
822-13765	COVER, TAYMAC 2" X 4" GFCI WEATHERPROOF HORIZONTAL ALUMINUM (MEX) #MX3300	2		
822-21981	BOX, PASS & SEYMOUR 4" X 4" W/P J-BOX W/ 3/4" PLUG (IND) #WPB332	1		
823-01344	COVER, CUTLER HAMMER, SURFACE MOUNT, PLUG NEUTRAL FOR 150A OR GREATER MBLG, X7 #CHPX7BS	1		
823-01345	LOADCENTER, CUTLER HAMMER PLUG NEUTRAL, 200A, 1PH, MAIN BREAKER, 42 SPACE #CHP42B200X7	1		
824-00935	Transfer Switch, Cummins Auto 225amp, 3 pole 240 volt 1PH Nema 1 HO IEC	1		
824-10136	Transfer, Cutler Hammer 200A 2P N/E #DT224UGK	1		
826-00055	GENERATOR RECEPTACLE, HUBBELL, 50A, 125/250V AC, 3P-4W, #CS8375	1		
827-00071	RECEPTACLE, COOPER WIRING DEVICES 20 AMP BACK AND SIDE WIRED DUPLEX (USA) #BR201	4		
827-00085	RECEPTACLE, HUBBELL INC, 20 AMP GFCI WEATHER RESISTANT #GFWRST201 (CHN)	3		
827-00086	SWITCH, HUBBELL INC, 20 AMP GFCI WEATHER RESISTANT #GFWRST201 (CHN)	3		
827-11704	Socket, IDEC Relay 300V AC 1 & 2-pole 25 Amp, 3-pole 20 Amp	1		
827-12964	Relay, IDEC 2PDT 240V AC 8 Pin Coil Rating 3VA (CHN) #RR2P-UAC240V	1		
831-00239	FIXTURE, EATON 4' LED CSA COMPLIANT, #4WNL-DL4-40SL-F-JUNV-L840-CD1-U	6		
831-00380	FIXTURE, WESTGATE EXTERIOR LED 15 WATT WALL PACK WITH PHOTOCELL #LESW-15W-50K-P	1		
833-00438	THERMOSTAT, ELECTRONIC NON-PROGRAMMABLE, 2-STAGE HEAT AND 2-STAGE COOL AND HEAT PUMP #ICM SC4811	1		
833-10877	THERMOSTAT, DAYTON SPDT #1UHH2	2		
835-11307	ALARM BLOCK, SIEMON #S66M1-100 MH-49	1		



1500 DAVENPORT DRIVE MINDEN, LA 71055  
 ph. (800) 952-2614 www.fibrebond.com

**FIBREBOND**

1900 FSR: APPROVAL A01\*  
 APPROVALS FOR PROTECTION

ALL WEST COMMUNICATIONS  
 12" 0" X 16" 0" BUILDING

BILL OF MATERIALS

DATE: 27-NOV-2020  
 DATE: 27-NOV-2020

DRN: GD  
 BY: JC

SHEET NO: 8-1  
 DATE: 27-NOV-2020

SCALE: NTS  
 DATE: 27-NOV-2020

SIZE: DWG NO.: B  
 DATE: 27-NOV-2020

D14401

REV.	BY	DATE	REASON

THESE PLANS ARE THE CONFIDENTIAL PROPERTY OF FIBREBOND CORPORATION. NO PART OF THESE PLANS OR DRAWINGS OR THE INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN AUTHORIZATION OF FIBREBOND CORPORATION. ANY VIOLATION OF THESE TERMS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

APPROVED FOR CONSTRUCTION: [Signature]



PART NUMBER	DESCRIPTION	QTY	MFG1	MFG#1
837-00119	DRIP STRIP, MARVAIR & BARD 4 THRU 6 TON 46" PAINTED AC	1		MGA1072AA050C++1+1CA+A11+++++
837-01158	HVAC MARVAIR 6 TON 10 EER 1PH 5K WITH ECONOMIZER R410A #MGA1072AA050C++1+1CA+A11+++++	1	Manvir	A64 3/4" SPACING
837-11382	GRILL 30" X 10" SUPPLY #GR-L-VH-3010	1	11382 - Tuttle & Bailey	A70D 3/4" SPACING
837-11388	GRILL 30" X 16" RETURN AIR, #GR-L-RA-3016	1	11388 - Tuttle & Bailey	FA-10PD
841-00180	KIT, GENUINE FIRST AID, 10 PERSON #FA-10P (34WK73)D	1	Genuine First Aid	
841-10007	PLATE, 4" X 6" BLUE PLASTIC	1		DEFLECTO 63202 SMOKE, 12/CTN
841-13867	TRAY, WALL POCKET (USA)	1		
842-00220	BRACKET KIT, TE CONNECTIVITY COMMSCOPE 5/8" THREADED ROD FIBER TRAY #FGS-HNTR-5/8 / 1176647	23	COMMSCOPE	
842-00221	FIBER TRAY, TE CONNECTIVITY COMMSCOPE STRAIGHT EXTENSION THROUGH SECTION YELLOW #FGS-MSHS-B / 1135504	3	COMMSCOPE	
842-00226	Te Cover Kit, TE Connectivity 4" x 6" Yellow Snap-On Fiber Tray #FGS-SHRT-B / 1059403	6	TE Connectivity	FGS-SHRT-B/1059403
846-00664	DOOR, PREMIER 3070 LHR, 16G GALV CY PREP, 35.3/4" STANDARD HINGE SERIES POLYSTYRENE CORE #S16-4	1		S16-4
847-00861	CLOSER, DESIGN HARDWARE OPENING RANGE SET TO 90 TO 180 DEGREE, UP TO 18/LB DOOR #116 SERIES AL, DOOR	1		116 SERIES AL
847-00862	CLOSER ARM, DESIGN HARDWARE #116 SERIES AL ADJUSTABLE TYPE HOLD OPEN ARM DOOR	1		316/116 AL ADJUSTABLE HO ARM
847-10789	LOCK, BEST DEADBOLT #837-K-STK-626 LESS CORE	1	BEST	837-K-STK-626-LESS CORE
847-11073	HANDLE, SIERRA PACIFIC DOOR PULL (5-1/2") FORMED PULL ZINC PLATED #917	2	GLOBAL	ROCKWOOD - ALUMINUM
847-11800	CORE, BEST SFIC CONSTRUCTION, DARK GREEN, 7 PIN	1	BEST	CS4545BBNRP-32D
847-12348	THRESHOLD, PEMKO 3 1/2" X 36" ALUMINUM PANIC BUMPER SEAL #1855AV	1	Pemko	
847-12369	DOOR SWEEP, PEMKO 36" CLEAR ANODIZED ALUMINUM/RUBBER #321-NC-36	1	Pemko	321CN36, 50/Box
847-22816	LOCKGUARD, 6 1/4" X 7" HEAVY DUTY 12 GAUGE CUSTOM IMPORT	1	Pemko	Import, 23 case
847-23485	WEATHERSTRIP, PEMKO 3070 3-PC MAGNET (INT) #2815CM3684	1	Pemko	2815CM36
848-00070	DETECTOR, GENTEX SMOKE ALARM 120VAC/9VDC W/RELAY, #S1209F 917-4057-002	1	GENTEX	S1209F
848-11351	CONTACTS, GEORGE RISK INDUSTRIES SPDT FORM C GRAY DOOR #29C	1	GRI	GRI 29C
849-22543	EXTINGUISHER, AMEREX 10 LB CO2 10B.C.330 INCLUDES WALL HANGER	1	AMEREX	

**PACKING LIST**

ITEM#	QTY.	FIBREBOND PART#	MFG'S PART#	MANUFACTURER	DESCRIPTION
-	4	197788		FINE	TIEDOWN, PLATE FOUNDATION 1/2" X 10" X 12" GALVANIZED W/1 1/16" & 7/8" HOLES
-	1	838-00345	CUMMINS		GENERATOR, CUMMINS 36KW, NG FUELED, EXTERIOR, 120/240V, 1PH, #C38N6
-	1	841-50030		143-9470	BRUSH; 1" PAINT (#474)
-	6	850-00226	PRAIRIE	UROFLEX MS-30	CAULK, PRUROFLEX MS-30 ADHESIVE/SEALANT 10.3 OZ CARTRIDGE - PRAIRIE TORQUE TAN
-	0.25 GAL	851-00263	Thorlastic	FINE	PAINT, THOROLASTIC MESA TAN
-	8	854-00036		STB2-75614	ANCHOR, 3/4" X 6 1/4" SIMPSON STRONG BOLT 2, ICCES APPROVED STB2-75614

\*VARIES WITH SIZE OF BLDG., SEE SEQUENCE 80



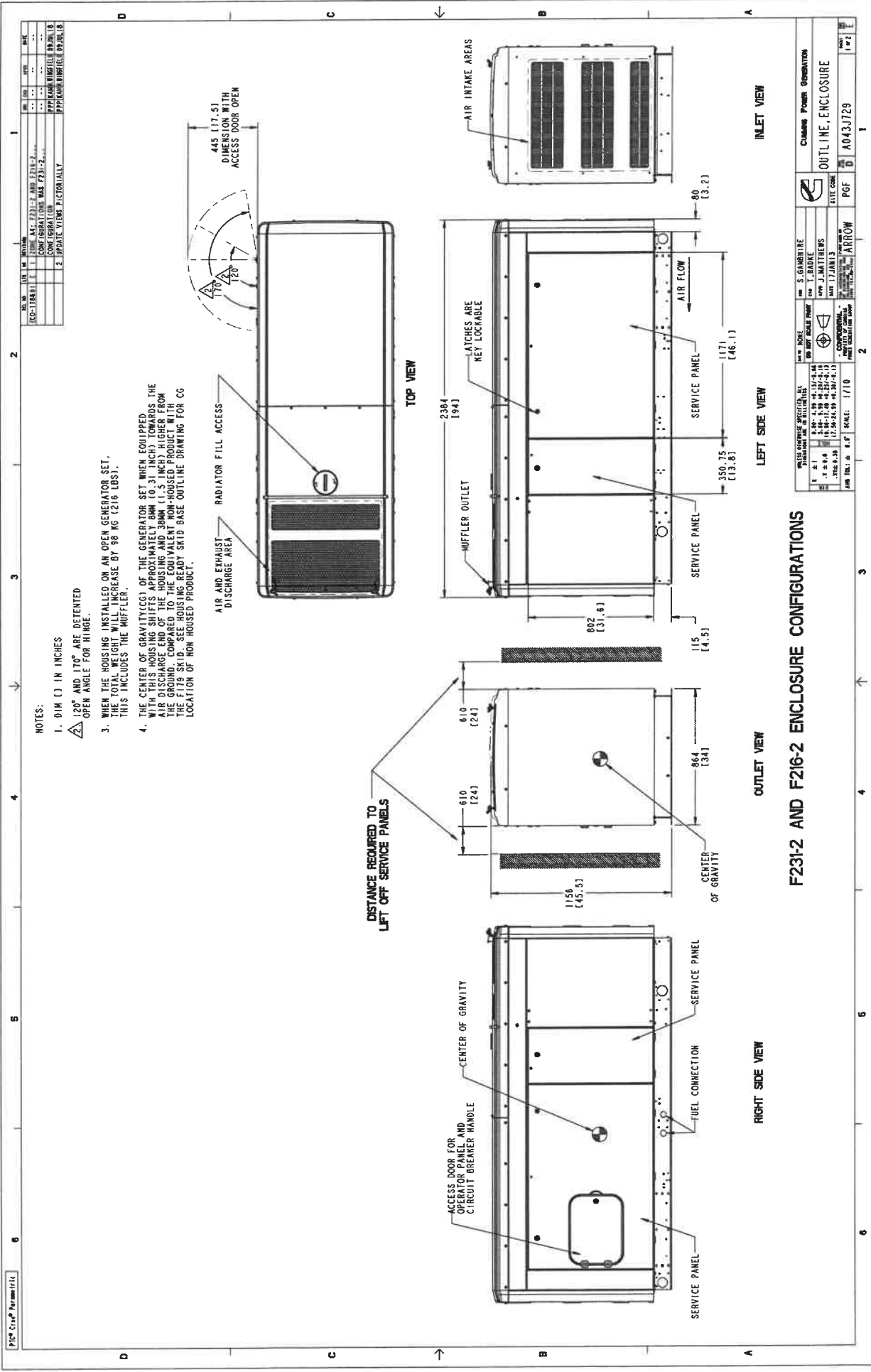
1560 DAVENPORT DRIVE, MONROE, LA 71065  
 Ph: (504) 884-2614 www.fibrebond.com  
**FIBREBOND**  
 ISSUED FOR:  
**\*APPROVAL A.01\***  
 ALL WEST COMMUNICATIONS  
 APPROVALS IN PDW DATABASE  
 12'-0" X 16'-0" BUILDING  
 BILL OF MATERIALS  
 THIRD ANGLE PROJECTION  
 SCALE: NTS  
 SHEET NO: 8-2  
 SIZE: TNG NO: B  
 D11401

DATE: 27-NOV-2020 TIME: 4:57 PM  
 DATE: DATE: DATE: DATE:  
 DRN: CD APP: DTJ PM  
 DR: JJC APP: JJC

THESE PLANS USE THE CONFIDENTIAL PROPERTY OF FIBREBOND CORPORATION. NO REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR THE INFORMATION CONTAINED HEREIN IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF FIBREBOND CORPORATION. THESE DRAWINGS HAVE BEEN PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF NEVADA AND SHALL BE DEEMED TO BE A PROFESSIONAL SEAL BEARING THEREON SHALL BE DEEMED TO BE A PROFESSIONAL SEAL. THEIR CONFIDENTIAL NATURE

APP: \_\_\_\_\_

REV. BY: \_\_\_\_\_ DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_



**NOTES:**

1. DIM ( ) IN INCHES
2. 120° AND 170° ARE DOTTED OPEN ANGLE FOR HINGE.
3. WHEN THE HOUSING IS INSTALLED ON AN OPEN GENERATOR SET, THE TOTAL WEIGHT WILL INCREASE BY 98 KG (216 LBS). THIS INCLUDES THE MUFFLER.
4. THE CENTER OF GRAVITY (CG) OF THE GENERATOR SET WHEN EQUIPPED WITH THIS HOUSING SHIFTS APPROXIMATELY 8MM (0.31 INCH) TOWARDS THE AIR DISCHARGE END OF THE HOUSING AND 38MM (1.5 INCH) HIGHER FROM THE GROUND, COMPARED TO THE EQUIVALENT NON-HOUSED PRODUCT WITH THE F179 SKID. SEE HOUSING READY SKID BASE OUTLINE DRAWING FOR CG LOCATION OF NON-HOUSED PRODUCT.

**F231-2 AND F216-2 ENCLOSURE CONFIGURATIONS**

		CUMMINS POWER GENERATION OUTLINE, ENCLOSURE	
DESIGNED BY: S. GAMBIRE DRAWN BY: T. BRADY CHECKED BY: J. MATTHEWS DATE: 12/20/15	PART NO.: A043J729 REV: 1	SCALE: 1/10 ARROW	SHEET NO.: 1 OF 2



State of Utah  
Department of Transportation

191595  
Weber County Recorder, Fee \$ 49.00  
Date 20 09 21 Time 9:15 AM By [Signature]  
Rec For All West Comm.

### Future Cross Access Easement

This Future Cross Access Easement ("Agreement"), by and between Utah Department of Transportation ("Department") and All West Communications ("Property Owner") describes the terms and conditions of future access connections in the Department Right-of-Way.

#### RECITALS

WHEREAS, Property Owner has received access approval to improve its property identified as 2103000015, located at ~7590 E 900 S in City of Huntsville, County of Weber, State of Utah, and described in the attached Exhibit; and Exhibit A

WHEREAS, as a condition of this access approval, Property Owner is required to enter into an agreement to create a future cross access easement on its property to allow for ingress and egress between its property and the adjacent property located at 2103000024; and

WHEREAS, the purpose of the easement is to allow traffic flow between the properties in one access and onto a private lane so as to relieve congestion and to create less traffic hazards; and

WHEREAS, at this time, the adjacent property is not seeking access approval, and the owner of that property is unwilling to grant a mutual cross access easement at this time. It is anticipated that when the adjacent property is improved so as to require access approval, the Department shall require that a cross access easement be created to connect the two properties. As required by the Department, the Property Owner agrees to grant an easement as set forth in this Agreement; and

WHEREAS, the attached Exhibit describes the approximate location of the future easement.

#### AGREEMENT



The Parties agree to the following:

- (1) In fulfillment of the requirements imposed as a condition of access approval, the Property Owner agrees, in the future and upon demand by the Department, to grant a cross access easement provided that the adjacent property owner and as shown in the attached Exhibit, likewise grants a similar cross access easement over its property.
- (2) At such time as the adjacent property owner desires access, the Property Owner agrees to grant the cross access easement and to execute all necessary documents to create the cross access easement.
- (3) The easements to be created shall burden and benefit the parcels. The easements shall run with the land and shall be binding on and shall insure to the benefit of the Property Owner, their respective heirs, successors or assigns.
- (4) The easements to be created shall continue until expressly terminated by written agreement between the parties, the successors, or the assigns. Any agreement to terminate or modify the easements to be created shall be approved in writing by the Department.

# 3191595 2.15

- (5) The Property Owner agrees to allow the necessary improvements to its property to allow the ingress and egress as set forth herein within a reasonable time after the creation of the cross access easements.
- (6) The Property Owner agrees to maintain the easement area that will be located within its property in a reasonable manner and at its sole expense.
- (7) Any violation or breach of this Agreement shall be considered a breach of the access permit, and the Department shall have the authority to enforce this Agreement in any manner permitted by law.
- (8) This Agreement to create a cross access easement shall be recorded with the County Recorder's office by the Property Owner.
- (9) MISCELLANEOUS
  - a) Each party agrees to undertake and perform all further acts that are reasonably necessary to carry out the intent and purpose of the Agreement at the request of the other party.
  - b) This Agreement does not create any type of agency relationship, joint venture, or partnership between the Department and the Property Owner.
  - c) The failure of either party to insist upon strict compliance of any of the terms and conditions, or failure or delay by either party to exercise any rights or remedies provided in this Agreement, or by law, will not release either party from any obligations arising under this Agreement.
  - d) This Agreement shall be deemed to be made under and shall be governed by the laws of the State of Utah in all respects. Each person signing this Agreement warrants that the person has full legal capacity, power and authority to execute this Agreement for and on behalf of the respective party and to bind such party.
  - e) If any portion of this Agreement is held to be invalid or unenforceable for any reason by a court of competent jurisdiction, such invalidity or unenforceability shall not affect any other provision, and this Agreement shall be construed as if such invalid or unenforceable provision had never been included.
  - f) The effective date of this Agreement is the date signed by the last party.

.....

#3191595 3 of 5

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by its duly authorized officers.

Utah Department of Transportation

Title: Permit Engineer David F. Alger  
Date: 10/6/21 Printed Name: David Alger

All West Communications  
Title: President Matthew Weller  
Date: 10/13/21 Printed Name: Matthew Weller

**ACKNOWLEDGMENT**

State of Utah

County of Summit

On this 13 day of October, in the year 2021, before me, Alisha Lewis a notary public, personally appeared Matthew Weller, proved on the basis of satisfactory evidence to be the person whose name is subscribed to this instrument, and acknowledged (he/she) executed the same.

Witness my hand and official seal.

Alisha Kay Lewis



#201595 4 of 5



EXHIBIT

#3191595. 5 of 5



W3150933

Recording Requested by:  
First American Title Insurance Company  
1260 E Stringham Ave, Ste 150  
Salt Lake City, UT 84106  
(801)466-1600

E# 3150933 PG 1 of 2  
Leann H. Kilts, WEBER COUNTY RECORDER  
06-May-21 0258 FEE \$40.00 DEP TH  
REC FOR: FIRST AMERICAN - SUGARHOUSE  
ELECTRONICALLY RECORDED

Mail Tax Notices to and  
AFTER RECORDING RETURN TO:  
All West/Utah, Inc.  
50 West 100 North  
Kamas, UT 84036

SPACE ABOVE THIS LINE (3 1/2" X 5") FOR RECORDER'S USE

# Exhibit A

~~WARRANT DEED~~

Escrow No. 392-5996391 (SD) ds  
A.P.N.: 21-030-0015 *CM* ds

*BT DB*  
Karey L. Law, Grantor, of Huntsville, Weber County, State of UT, hereby CONVEY AND WARRANT to

All West/Utah, Inc. corporation, Grantee, of Huntsville, Weber County, State of UT, for the sum of Ten Dollars and other good and valuable considerations the following described tract(s) of land in Weber County, State of Utah:

PART OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 6 NORTH, RANGE 2 EAST, SALT LAKE MERIDIAN, U.S. SURVEY: BEGINNING AT A POINT ON THE SOUTH LINE OF THE PINE - VIEW HUNTSVILLE HIGHWAY, SOUTH 82°40' EAST 1176 FEET FROM THE POINT OF 1970.08 FOOT RADIUS CURVE, SAID BEGINNING POINT SEARS SOUTH 1512 FEET AND EAST 335 FEET, MORE OR LESS, FROM THE NORTHWEST CORNER OF SAID QUARTER SECTION; RUNNING THENCE TO THE LEFT 130.05 FEET ALONG THE ARC OF AN 1970.08 FOOT RADIUS CURVE, THE CHORD OF WHICH BEARS NORTH 78°06' EAST 129.86 FEET; THENCE SOUTH 11°43' EAST 417.81 FEET; THENCE NORTH 67°05' WEST 95.8 FEET; THENCE NORTH 83°09' WEST 46.56 FEET; THENCE NORTH 12°52' WEST 348.19 FEET TO THE POINT OF BEGINNING.

Subject to easements, restrictions and rights of way appearing of record and general property taxes for the year 2021 and thereafter.

Witness, the hand(s) of said Grantor(s), this May 6, 2021.



## Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

### Synopsis

#### Application Information

<b>Application Request:</b>	Consideration and/or action on a conditional use permit for short-term rental use at 3563 N Lakeview Court, Eden, UT 84310, The Village at Wolf Creek 1st Amendment, Lot 80.
<b>Agenda Date:</b>	Tuesday, November 30, 2021
<b>Applicant:</b>	Lindsay Wilson (Owner)
<b>File Number:</b>	CUP2021-19

#### Property Information

<b>Approximate Address:</b>	3563 N Lakeview Court, Eden, UT 84310
<b>Project Area:</b>	0.05 acres
<b>Zoning:</b>	Forest Residential-3 Zone (FR-3)
<b>Existing Land Use:</b>	Residential
<b>Proposed Land Use:</b>	Residential/Short Term Rental
<b>Parcel ID:</b>	22-370-0018
<b>Township, Range, Section:</b>	T7N, R1E, Section 22

#### Adjacent Land Use

<b>North:</b>	Residential	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Residential

#### Staff Information

<b>Report Presenter:</b>	<b>Felix Lleverino</b> fleverino@co.weber.ut.us 801-399-8767
<b>Report Reviewer:</b>	SB

### Applicable Ordinances

- Weber County Land Use Code Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Weber County Land Use Code Title 104 Chapter 17 (FR-3 Zone)
- Weber County Land Use Code Title 108 Chapter 4 (Conditional Uses)
- Weber County Land Use Code Title 108 Chapter 7, section 25 (Nightly Rentals)

### Summary and Background

The applicant is requesting approval of a conditional use permit for short-term use in a residential dwelling located in the FR-3 zone. The proposed use will occur within an existing dwelling that is a 1700 sq. ft., 3 bedroom, 4 bathrooms residence. As such, there is no design review required.

The applicant has submitted a project narrative (See **Exhibit A**) detailing their intended use of their property as a short-term rental property. This narrative also indicates that Lindsay Wilson, who is the managing member of JL Wilson Holdings LLC, will address issues that may arise from noise, security, parking, and garage use. The applicant has also submitted a parking exhibit (See **Exhibit C**).

This application is being processed for an administrative review through the Ogden Valley Planning Commission as directed by the approval procedures outlined in LUC §108-4-3. This section of code indicates that a review of a conditional use permit application is intended to verify compliance with applicable ordinances and provide appropriate and reasonable mitigation of anticipated detrimental effects.

### Analysis

**General Plan:** As a conditional use, this use is allowed in the FR-3 Zone. With the establishment of appropriate conditions as determined by the Planning Commission, this operation will not negatively impact any of the goals and policies of the General Plan.



**Zoning:** The subject property is located within the Forest Residential (FR-3) Zone. The purpose of the FR-3 Zone can be further described in LUC §104-17-1 as follows:

*“The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent homeownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.”*

The FR-3 Zone allows for a “nightly rental” as a conditional use. For comparison purposes, the FR-3 Zone also allows similar conditional uses such as condo-tels, group dwellings, lockout sleeping rooms, multi-family dwellings, timeshare buildings, and recreational lodges.

**Conditional Use Review:** A review process and use standards have been outlined in LUC §108-4 to ensure compliance with the applicable ordinances and to mitigate anticipated detrimental effects. The conditional use standards are as follows:

- 1) Standards relating to safety for persons and property
- 2) Standards relating to infrastructure, amenities, and services
- 3) Standards relating to the environment
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan
- 5) Standards relating to performance (bonds, agreements)
- 6) Standards generally (economy, other applicable LUC standards)
- 7) Voluntary contributions providing satisfactory compliance with applicable standards

**Nightly Rental Ordinance:** Under the current land-use code, §108-7-25 titled ‘Nightly Rentals’, states the following:

*The rental of a sleeping room, apartment, dwelling unit, or dwelling for a time period of less than 30 days is considered a nightly rental. Nightly rentals are allowed only when listed as either a permitted or conditional use in a specific zone or when approved as part of a planned residential unit development (PRUD).*

## Agency Reviews

To date, the Weber Fire District has offered the following review of the request:

**David Reed, Fire Marshal (8/25/2021):** *If the home is fire sprinklered then the occupant limit can exceed 10 however if it's not sprinklered than no more than 10 occupants at a time are allowed. The smoke detectors, CO detects and fire extinguishers must remain in good working order.*

## Staff Analysis

The staff offers the following analysis following review of the application against the conditional use standards:

- 1) Standards relating to safety for persons and property.
  - Apart from the Fire Marshal’s review and conditions, the operation of a short-term rental is not anticipated to cause safety hazards to persons or property.
- 2) Standards relating to infrastructure, amenities, and services.
  - The parking infrastructure for visitors includes one parking space in the garage, one parking space in the driveway. The managing member, Lindsay Wilson, is available at any time to enforce the parking requirements.
- 3) Standards relating to the environment.
  - Staff does not anticipate any detrimental effects on the natural features of the site or surrounding areas.
- 4) Standards relating to the current qualities and characteristics of the surrounding area and compliance with the intent of the general plan.
  - The current FR-3 zoning anticipates short-term rental use and the area has been developed for resort and lodging purposes. As such, staff does not anticipate the proposed use to be detrimental to the characteristics of the area. The zoning is consistent with the General Plan.
- 5) Standards relating to performance (bonds, agreements).
  - There is an existing dwelling, with a sufficient parking area. No performance bonds or agreements are necessary for the proposed use.
- 6) Standards generally (economy, other applicable LUC standards).

- The proposed use is not anticipated to have detrimental effects on the local economy.
  - Before issuance of a conditional use permit, the applicant will need to apply for, and be issued with, a business license.
- 7) Voluntary contributions providing satisfactory compliance with applicable standards.
- There are no voluntary contributions that are offered with this request.

### **Staff Recommendation**

Based on the staff analysis above and the findings listed below, staff recommends approval of this conditional use application. This recommendation is subject to the applicant meeting the conditions of approval listed below and any other conditions required by reviewing agencies and the Planning Commission:

1. There is a ten-person limit in non-sprinklered dwelling units. A fire-extinguisher shall be left in plain sight. Carbon monoxide and smoke detectors are required and must be kept in good working order.
2. A business license shall be obtained before the issuance of this conditional use permit.
3. The dwelling's attached garage shall be made available to the guests. Visitor parking is limited to the one-car garage and the one-car driveway.

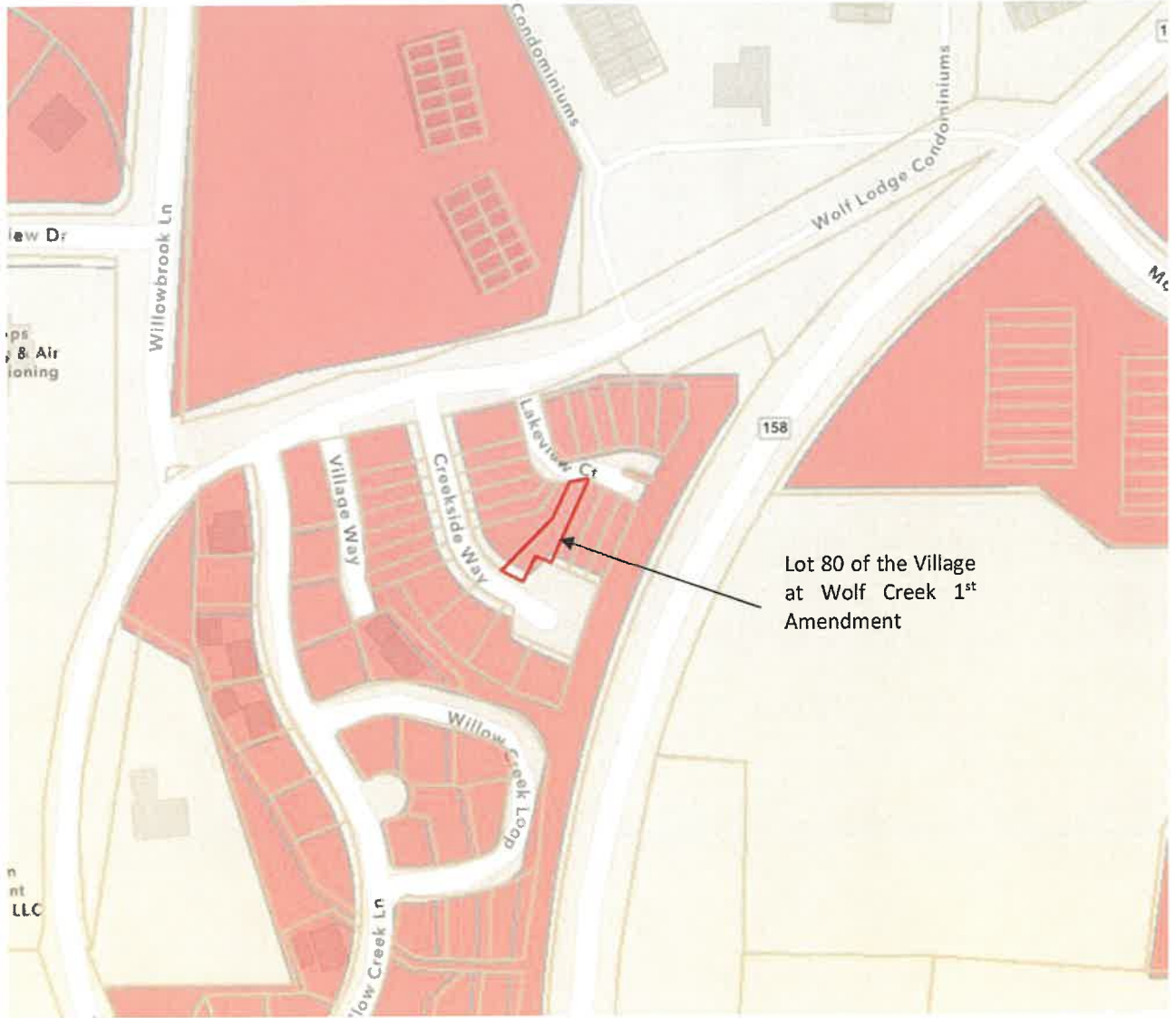
The following findings are the basis for the staff's recommendation:

1. The proposed use is allowed in the FR-3 Zone and meets the appropriate site development standards.
2. The criteria for issuance of a conditional use permit have been met because mitigation of reasonably anticipated detrimental effects can be accomplished.

### **Exhibits**

- A. Application & Narrative
- B. Floor Plan
- C. Parking Plan
- D. Site Photos

Area Map



Lot 80 of the Village  
at Wolf Creek 1<sup>st</sup>  
Amendment

**Project Narrative 3563 N. Lakeview Ct. Vacation Rental Proposed Use: Short term vacation rental**

I, Lindsay Wilson am the Managing Member for JL Wilson Holdings LLC and would like to respectfully request approval of a short-term vacation rental conditional use permit for 3563 N. Lakeview Ct, tax parcel number 22-370-0018. Our intention is to list this property as a short-term vacation rental for families looking to visit the Ogden Valley.

We will be looking to rent to visitors for terms ranging from 2 days minimum, to three weeks maximum. Check in time will be 3:00 pm, check out time will be 11:00 am, and the guests would have access to the property at any time within their approved stay as an owner would. We are anticipating most renters to be single families with one vehicle. This property has a one car garage, as well as an attached driveway. This will ensure that there is adequate parking for 2 vehicles on the property at any given time, and our rental listing will clearly state that only 2 vehicles are permitted on premise at any given time.

Renters will be provided with the applicable HOA rules and regulations and must follow them accordingly. The townhome was built in 2020, it is 1704 sf with 3 bedrooms and 4 baths. The home has CO2 detectors, smoke alarms, and fire extinguishers. It sits on .05 acres and is nicely maintained by the HOA. The yard areas and common space are well cared for with no debris visible and will continue to be properly maintained. There are several shared dumpsters located at the end of the street in the parking lot of each townhome complex. We will have explicit instruction for all trash to be properly disposed of in these designated dumpsters. The home is accessed from UT 158 N and has quick access to nearby amenities. Traffic in this area is consistent with a ski resort and residential area and we anticipate no additional impact due to the usage change.

The HOA and zoning of this property both allow for short term rental with conditional use permit. This property and community was built in 2020 and as such the lighting and parking have been reviewed and approved by the county.

Overall, we are confident that use by renters will not impact the neighbors and surrounding areas any differently than when we as the owners will be occupying the property for personal use.

Please feel free to reach out to me with any questions or concerns, 307-690-8875. Thank you in advance for consideration of a conditional use permit.

Sincerely, Lindsay Wilson

## Weber County Conditional Use Permit Application

**Application submissions will be accepted by appointment only. (801) 399-8791. 2380 Washington Blvd. Suite 240, Ogden, UT 84401**

Date Submitted / Completed	Fees (Office Use)	Receipt Number (Office Use)	File Number (Office Use)
<b>Property Owner Contact Information</b>			
Name of Property Owner(s) Lindsay Wilson and John R. Wilson III		Mailing Address of Property Owner(s) 1081 S. 1300 E. Salt Lake City, UT 84105	
Phone 307-690-8875	Fax		
Email Address (required) lindsaylewicki@gmail.com		Preferred Method of Written Correspondence <input checked="" type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Authorized Representative Contact Information</b>			
Name of Person Authorized to Represent the Property Owner(s)		Mailing Address of Authorized Person	
Phone	Fax		
Email Address		Preferred Method of Written Correspondence <input type="checkbox"/> Email <input type="checkbox"/> Fax <input type="checkbox"/> Mail	
<b>Property Information</b>			
Project Name 3563 N Lakeview Ct. Nightly Rental		Total Acreage .05	Current Zoning FR-3
Approximate Address 3563 N Lakeview Ct Eden, UT 84310		Land Serial Number(s) 22-370-0018	
Proposed Use Short-Term Vacation Rental			
<p><b>Project Narrative</b></p> <p>I, Lindsay Wilson am the Managing Member for JL Wilson Holdings LLC and would like to respectfully request approval of a short-term vacation rental conditional use permit for 3563 N Lakeview Ct, tax parcel number 22-370-0018. This property is located across from the Wolf Creek Golf Course, is a 13-minute drive to Powder Mountain, a 24-minute drive to Snowbasin, and has easy access to both the major business area of Eden as well as Pineview Reservoir. The ideal location will make it a popular destination for tourists looking to spend time in Eden. The townhome was built in 2020. It is 1704 sf with 3 bedrooms and 4 baths. The home has CO2 detectors, smoke alarms, and fire extinguishers. It sits on .05 acres and is nicely maintained by the HOA. The yard areas and common space are well cared for with no debris visible and will continue to be properly maintained. This property has a one car garage and attached driveway that will readily accommodate two vehicles at any given time. The home is accessed from UT 158 N and has quick access to nearby amenities. Traffic in this area is consistent with a downtown residential area and we anticipate no additional impact due to the usage change. This request is in line with the existing neighborhood and Eden's current development plan. It will offer guests easy access to downtown, ski resorts, golf, restaurants, stores, community events, and local attractions. Please feel free to reach out to me with any questions or concerns, 307-690-8875. Thank you in advance for consideration of a conditional use permit. Sincerely, Lindsay Wilson</p>			

**Basis for Issuance of Conditional Use Permit**

Reasonably anticipated detrimental effects of a proposed conditional use can be substantially mitigated by the proposal or by the imposition of reasonable conditions to achieve compliance with applicable standards. Examples of potential negative impacts are odor, vibration, light, dust, smoke, or noise.

As property owners within Weber County we take the duty of ensuring compliance with applicable standards for the neighborhood very seriously. The property will be rented out as a whole unit to one party at a time and the property does not have any shared interior space. This should help ensure that vacation renters do not negatively impact the community with noise. The property has a garage and a driveway that will reasonably accommodate two vehicles. A requirement of the listing will be to have no greater than two vehicles present on site at any given time. The property is a new build, and as such will not require any renovations that would cause any disturbances with dust or noise. We will not be allowing pets or smoking on property so that we maintain cleanliness and air quality for all of those within the development. As property manager I will be available at any time to respond to any and all complaints or concerns proposed by renters or neighbors within an appropriate timeframe.

That the proposed use will comply with the regulations and conditions specified in the Zoning Ordinance and other applicable agency standards for such use.

Being a part of the FR-3 zoning means that the development was created to accommodate the needs of both tourists and permanent home ownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts. Our property meets all of the standards and requirements set forth in the Weber County Municipal Code for this zone, and we are taking all of the steps necessary to comply with the regulations set forth by the conditional permit.

**Property Owner Affidavit**

I (We), LINDSAY WILSON & JOHN Z. WILSON III depose and say that I (we) am (are) the owner(s) of the property identified in this application and that the statements herein contained, the information provided in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge.

  
(Property Owner)

  
(Property Owner)

Subscribed and sworn to me this 12<sup>th</sup> day of OCTOBER, 20 21



  
(Notary)

**Authorized Representative Affidavit**

I (We), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) representative(s), \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the County considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_, personally appeared before me \_\_\_\_\_ the signer(s) of the Representative Authorization Affidavit who duly acknowledged to me that they executed the same.

\_\_\_\_\_  
(Notary)

# Exhibit B – Floor Plan

Tri Level Floor plans with indicated parking and exterior light fixtures noted (red circles):

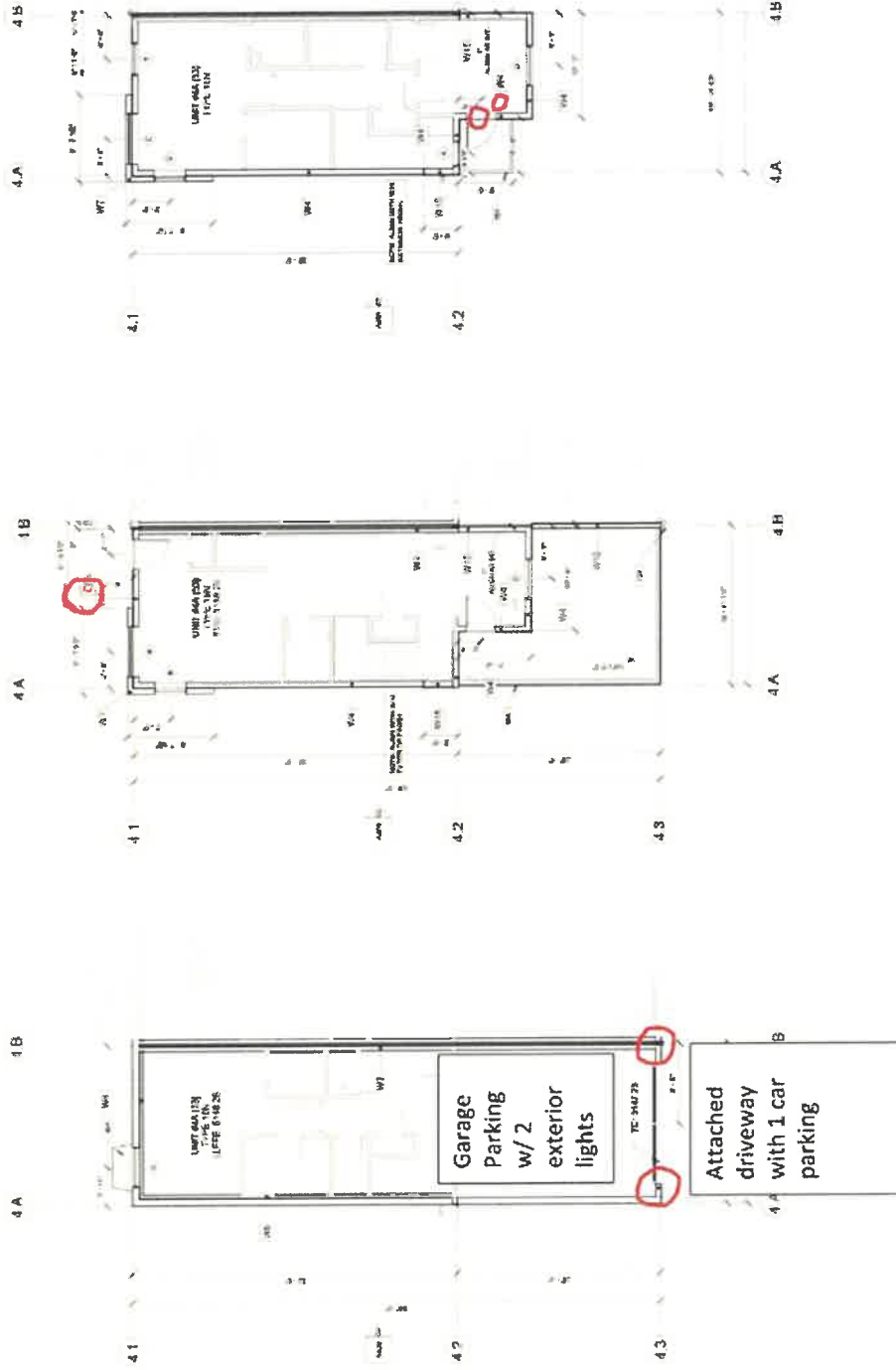


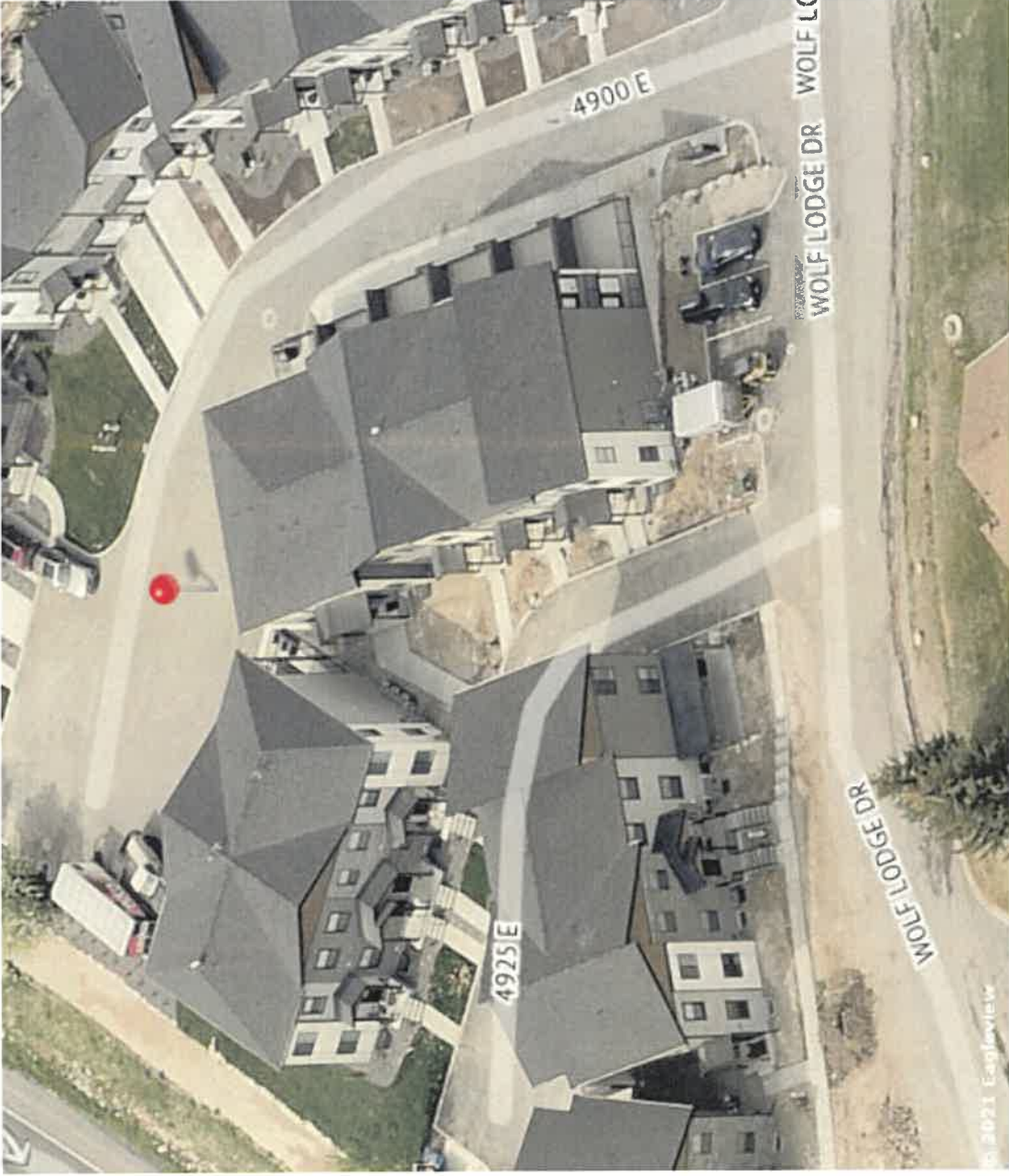




Exhibit D Site Photos









# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### Application Information

**Application Request:** Consideration and action on a request for preliminary approval of The Basin Subdivision located at approximately 947 E Old Snow Basin Road, and an application for alternative access.

**Agenda Date:** November 30, 2021

**Applicant:** CW The Basin LLC

**Representative:** Todd Meyers

**File Number:** UVB050721  
AAE 2021-04

### Property Information

**Approximate Address:** 947 E Old Snow Basin Road

**Project Area:** 3.31 acres

**Zoning:** FR-3

**Existing Land Use:** Vacant

**Proposed Land Use:** Residential

**Parcel ID:** 20-036-0035

**Township, Range, Section:** T7N, R1E, Section 21

### Adjacent Land Use

<b>North:</b>	Residential	<b>South:</b>	Residential
<b>East:</b>	Residential	<b>West:</b>	Residential

### Staff Information

**Report Presenter:** Steve Burton  
[sburton@co.weber.ut.us](mailto:sburton@co.weber.ut.us)  
801-399-8766

**Report Reviewer:** RG

## Applicable Ordinances

- Title 101, Chapter 1, General Provisions, Section 7, Definitions
- Title 104, Chapter 11, Commercial Valley Resort Recreation Zone
- Title 104, Zones, Chapter 28, Ogden Valley Sensitive Lands Overlay Districts
- Title 106, Subdivisions, Chapter 1-8 as applicable

## Background and Summary

This property was previously proposed to be rezoned from CVR-1 to FR-3. The County Commission agreed to rezone the property on the condition that no short-term rentals would be allowed. The applicant, after considering the Commission's condition, has chosen to not be rezoned and has not signed the rezoning development agreement. The property remains CVR-1 and this proposal is to subdivide 12 lots for residential purposes. There are also proposed to be one lot for commercial purposes, as required by the CVR-1 zone, and a lot for recreational amenities.

Under the CVR-1 zone, single-family dwelling units require a minimum of 7,500 square feet of overall net developable area per building. On the proposed preliminary plat, each lot, including the recreational lot and the commercial lot, are shown to be approximately 7,500 square feet. The developer has provided a 'will-serve' letter from Lakeview Water Corporation and Mountain Sewer Corporation for water and sewer service. Both letters acknowledge 12 residential units and 1 commercial unit that is limited in its water allowance. The following is an analysis of the project compared to the County Land Use Code.

## Analysis

**General Plan:** The Ogden Valley General Plan Commercial and Village area map shows this property as part of a mixed-use village area. The existing CVR-1 zoning requires mixed-use development, with ten percent of the project as commercial. The total project area is 144,146 square feet and the commercial lot is approximately 14,700 square feet.

Zoning: The subject property is located in the Commercial Valley Resort (CVR-1) Zone. The purpose and intent of the CVR-1 zone is identified in the LUC §104-11-1 as:

*The purpose of this zone is to provide locations in the Ogden Valley and at major recreation resort areas, where service facilities and goods normally required by the public in the pursuit of general recreation activities can be obtained.*

*In this role, even though the area is primarily commercial in nature, it should be compatible with the general surrounding natural environment. To this end, the general siting and architectural design of buildings and structures, the layout of parking areas and landscaping shall be subject to review and recommendations by the public agencies, design review and approval by the planning commission to ensure that the natural environment is preserved to the greatest possible extent.*

The minimum lot size in the CVR-1 zone for “condominium rental apartment or other lodging use that provides nightly or longer lodging” is 7,500 square feet and the minimum lot width for the overall project is 150 feet. All lots within the subdivision meet this minimum zoning requirement. The project width is 430 feet.

Alternative Access: All lots in this subdivision are proposed to have access by a shared private right of way. The county land use code, Section 108-7-31 states the following regarding private rights of way.

“Lots/parcels which do not have frontage on a street, but which have access by a private right-of-way or access easement may, under certain circumstances, use a private right-of-way or access easement as the primary access. Approval is subject to the applicant demonstrating compliance with the following criteria and conditions:

....

(3) Based on substantial evidence, it shall be shown that it is unfeasible or impractical to extend a street to serve such lot/parcel. Financial adversity shall not be considered; however, circumstances that may support an approval of a private right-of-way/access easement as access to a lot/parcel may include but not be limited to unusual soil, topographic, or property boundary conditions.”

The applicant has included a narrative as Exhibit B, explaining why they feel it is not practical to extend a public street through this development. Their reasoning is that The Basin Subdivision is surrounded by existing platted subdivisions, with no opportunities for future public street connections. When the access was originally proposed, the narrative referenced 13 lots, the proposal is now for 12 lots, a common area, and a commercial lot.

If approved, the alternative access will be a 20-foot wide, hard surfaced right-of-way that will run through the front of each lot. Each lot owner will own a portion of the private right of way and will be required to maintain their portion. An HOA could also be formed to maintain the private right of way. The private right of way will need to be built to the standards outlined in 108-7-29(a) prior to any building permits being issued.

Culinary Water, Sanitary Sewer, and Secondary Water: The applicant has provided a will-serve letter from Lakeview Water, who will provide culinary and secondary water to the lots. The applicant has also provided a will-serve letter from Mountain Sewer who will provide the sanitary sewer services. The applicant will be required to provide a final approval letter from the water and sewer provider, prior to the recording of the subdivision.

Parking: Each lot in this subdivision will have a two or three-car garage with a full size driveway (total of 4 spaces per dwelling). Due to the narrow private rights-of-way, the applicant has also provided a spot for 17 standard parking spaces for guest parking, if needed. 11 parking spaces are shown adjacent to the commercial lot for the future commercial use.

Sensitive Lands: The property is located within a geologic hazards area. The applicant has submitted a geotechnical engineering and geologic study that was prepared by CMT Engineering Laboratories. The development of the site must follow the recommendations that are listed in the report.

Review Agencies: The Weber County Engineering Division, the Weber County Surveyor’s Office and Weber Fire District have reviewed the proposal. Prior to the subdivision being released for Mylar, all review agencies comments will need to be addressed.

## Staff Recommendation

Staff recommends preliminary approval of The Basin Subdivision and the alternative access. This recommendation for approval is subject to all applicable review agency requirements and the following conditions:

1. The alternative access shall be constructed in conformance with the design standards in 108-7-29(a) prior to the issuance of land use permits or building permits.
2. An alternative access covenant, where the developer agrees to pay for a proportionate amount of the cost of a public street, will be required to be recorded with the final subdivision plat.
3. The applicant will be required to provide a final approval letter from the water and sewer provider, prior to the recording of the subdivision.
4. Common Areas will need to be labeled properly on the final subdivision plat, and CC&Rs will need to be provided that explain how common areas will be maintained.

This recommendation is based on the following findings:

1. The proposed subdivision amendment conforms to the Ogden Valley General Plan.
2. The proposed subdivision amendment complies with all previous approvals and the applicable County ordinances.
3. The applicant has demonstrated that extending a public road to this property is impractical or unfeasible.

## Exhibits

- A. Preliminary Plat
- B. Alternative Access Narrative

## Location Map 1









Steve Burton  
Principal Planner  
2380 Washington Blvd Suite 240  
Ogden, Utah 84401-1471

May 11, 2021

Re: Alternative Access Application

Dear Mr. Burton,

Please accept this application for private access by easement. The easement is being purposed as a dedicated access to 13 single family lots on The Basin plat. The 3.22-acre property is bounded by two public streets and platted lots. The parcel was design in the past to only have access onto Old Snow Basin while the abutting lots take their access onto Quail Lane and Meadow Lark Lane.

The private access easement will be constructed with 20 ft of asphalt with a 2 ft of rolled curb for a 24 ft wide roadway. The roadway will be maintained by the Homeowner Association.

Sincerely,

A handwritten signature in black ink that reads "Todd Meyer".

CW Land





# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### APPLICATION INFORMATION

**Application Request:** A public hearing for consideration of a requested rezone located at approximately 5793 N Powder Mountain Rd, Eden.  
**Agenda Date:** Tuesday, November 30, 2021  
**Applicant:** Wayne Folkman  
**Representative:** Todd Strong  
**File Number:** ZMA 2021-05

### PROPERTY INFORMATION

**Approximate Address:** 5793 North Powder Mountain Road, Eden.  
**Zoning:** The area to be rezoned is currently F-40  
**Existing Land Use:** Vacant Forest  
**Proposed Land Use:** Forest-Residential, Condominiums

### ADJACENT LAND USE

**North:** Powder Mountain Recreational  
**East:** Powder Mountain Recreational  
**South:** Powder Mountain Recreational  
**West:** US Forest Service

### STAFF INFORMATION

**Report Presenter:** Steve Burton  
sburton@webercountyutah.gov  
801-399-8766  
**Report Reviewer:** RG

## Applicable Ordinances

§ 102-5: Rezoning Procedures

§ 104-17: Forest Residential FR-3

## Legislative Decisions

This is a legislative matter. When the Planning Commission is acting on a legislative matter, it is acting to make a recommendation to the Board of County Commissioners. There is wide discretion in making legislative decisions. Criteria for recommendations on a legislative matter suggest compatibility with the general plan, existing ordinances, and best practices. Examples of legislative actions are general plan, zoning map, and land use code amendments.

## Summary

This item is an applicant-driven request to amend the zoning map from F-40 to FR-3 on approximately 3 acres located south of the Powder Mountain Resort. The developer is proposing 6 buildings, with each building having 16 condominium units (96 units total). Each building is proposed to be 4 stories with underground parking. The developer has submitted a concept site plan with a slope analysis and concept images of the building elevations.

As stated in the application, the developer is proposing to purchase density rights within the Ogden Valley and to transfer the rights to this location. The developer has had discussions with the Planning Division regarding employee housing at Powder Mountain. If the Planning Commission and County Commission are willing, the developer would deed restrict one building (16 units) to be sold to employees at Powder Mountain or individuals that meet moderate income to assist in providing moderate income housing. The developer proposes that the 16 units do not need to be bought and transferred. This would mean the developer would be required to transfer 80 density rights from the valley floor and transfer them to this site.



Existing Zoning on  
37 acres is F-40



Proposed Zoning on  
approx. 3 acres is  
FR-3

## Policy Analysis

### **General Plan:**

The Ogden Valley General Plan states that the County will support the transfer of development rights from the valley floor to village or resort areas. If written into the development agreement, this proposal will transfer units from the valley floor to the subject parcel. Transferring units from the valley floor to an area adjacent to a ski resort is in compliance with TDR section of the general plan.

### **Zoning:**

The purpose and intent of the FR-3 zoning is listed in LUC 104-17-1 as follows:

*The purpose in establishing the Forest Residential, FR-3 zone is to provide for medium density residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent home ownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts.*

Under the proposed FR-3 zoning, the developer will need to meet the following development standards:

*Developments using a community or group wastewater disposal facility meeting the requirements of the state division of health code of wastewater disposal regulations:*

*Multiple-family: 7,500 square feet of net developable area plus 2,000 square feet of net developable area for each dwelling unit in excess of two.*

The proposed concept plan (Exhibit A) does not show the future lot sizes. The developer will be required to show a concept plan that meets the lot size requirement of approximately 5 acres (35,500 square feet of net developable area x 6 = 4.8 acres) before the proposal goes to the County Commission for consideration. The concept plan shows the six buildings and the future private drive. An amended concept plan will need to show compliance with the following building setbacks before the proposal goes before the County Commission:

*Minimum yard setbacks.*

- 1) *Front: 25 feet.*
- 2) *Side.*
  - a. *Main building: eight feet with total width of two required side yards of not less than 18 feet plus one foot each side for each one foot main building if over 35 feet high.*
  - b. *Accessory building: eight feet, except one foot if located at least six feet from rear of main building.*
  - c. *Side facing street on corner lot: 20 feet.*
- 3) *Rear.*
  - a. *Main building: 30 feet.*
  - b. *Accessory building: one foot except eight feet where accessory building rears on side yard of adjacent corner lot.*

The maximum building height of the FR-3 zone is 35 feet. The developer will need to show, in revised building elevations, that the proposal will not exceed the 35 foot height limit, prior to a public hearing with the County Commission.

### **Parking and Snow Removal:**

The developer is proposing 16 underground parking stalls for each building as well as 16 exterior parking stalls per building that will be located around the site. The developer is also proposing to use an area on the east side of Powder Mountain Road as overflow parking. LUC 108-8-2 requires 1 ¾ parking spaces per unit. The developer is providing 2 spaces per unit. This requirement will be written into the development agreement that will be considered by the County Commission.

The developer has not shown areas for snow removal, or a snow removal plan for this development. The developer will be required to provide a snow removal plan and to show areas for snow removal on a revised concept plan before a public hearing with the County Commission.

**Building Architecture and Material:**

The developer has submitted the following images to depict what the proposed condominium buildings will look like:





The building materials are shown to incorporate wood siding with stone accents. The colors of the buildings will be muted earth tones. Gable and hip roof pitches are proposed. It is the staff recommendation that no shed roofs or stucco be permitted. These standards will be written into the development agreement that will be considered by the County Commission at a later date.

**Water and Sewer Feasibility:**

The developer's plan for water and sewer is to connect to the Powder Mountain Water and Sewer Improvement District's infrastructure for both water and sewer service. The developer has had conversations with the District and a feasibility letter will be provided for 96 units prior to the public hearing with the County Commission.

**UDOT Access:**

The developer has had a pre-application meeting with UDOT, and understands that access permits may be required as the subdivision applications are submitted and processed.

**Public Benefit:**

The developer has shown on the concept plan several trail easements that will be granted in favor of the county if the rezone is approved. There will be a trail easement along the east side of Powder Mountain Road and an easement through the north end of the property connecting to the Powder Mountain recreational property. The width of the easements will be specified in a development agreement to the County Commission.

**Transferring Density:**

The developer is proposing to buy development rights from the valley floor and to transfer them to this location. Currently there is not a method that allows the transfer of rights to the FR-3 zone. There are a few options for the Planning Commission and County Commission to consider in regards to transferring density.

**Option 1:** The rezone can be approved, with a development agreement that states that "no units shall be platted until the developer can show that the units have been successfully bought and legally transferred from a sending area designated by the county, at such a time that the county ordinances allow for TDRs".

**Option 2:** If the Planning Commission and County Commission feel that the TDR ordinance needs to be in place prior to the rezone of this property, these bodies may choose to table or deny the rezone, until the county ordinances allow for the density to be transferred.

**County Rezoning Procedure:**

The land use code lists the following as considerations when the Planning Commission makes a recommendation to the County Commission:

*A decision to amend the zoning map is a matter committed to the legislative discretion of the County Commission and is not controlled by any one standard. However, in making an amendment, the County Commission and Planning Commission are encouraged to consider the following factors, among other factors they deem relevant:*

- a. Whether the proposed amendment is consistent with goals, objectives, and policies of the County's general plan.*
- b. Whether the proposed amendment is compatible with the overall character of existing development in the vicinity of the subject property.*
- c. The extent to which the proposed amendment may adversely affect adjacent property.*
- d. The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, wastewater, and refuse collection.*
- e. Whether the proposed rezone can be developed in a manner that will not substantially degrade natural/ecological resources or sensitive lands.*
- f. Whether proposed traffic mitigation plans will prevent transportation corridors from diminishing below an acceptable level of service.*

## Staff Recommendation

Staff recommends the following options to the Planning Commission for a recommendation to the County Commission.

**Option 1:** The Planning Commission forward a positive recommendation to the County Commission of the proposed rezone from F-40 to FR-3, with a development agreement allowing 96 units, of which 80 units will be transferred and 16 will be restricted to employee housing or moderate income housing. The development agreement will state that "no units shall be platted until the developer can show that the units have been successfully bought and legally transferred from a sending area designated by the county, at such a time that the county ordinances allow for TDRs". The following information must be provided prior to the County Commission considering this item:

1. The developer will be required to show a concept plan that meets the lot size requirement of 9,500 square feet of net developable area.
2. An amended concept plan will need to show compliance with the FR-3 zoning building setbacks.
3. The developer will need to show, in revised building elevations, that the proposal will not exceed the 35 foot height limit.
4. The developer will be required to provide a snow removal plan and to show areas for snow removal on a revised concept plan.
5. The developer will provide a feasibility letter from Powder Mountain Water and Sewer Improvement District for 96 units.

This recommendation may come with the following findings:

1. The use helps support the 2016 Ogden Valley General Plan by implementing transferrable development rights to resort areas.
2. The development will help provide more options for moderate income housing in the Ogden Valley.

---

**Option 2:** The Planning Commission may make a recommendation to the County Commission that the proposed rezoning be denied or tabled until the County ordinances allow for the proposed density to be transferred.

This recommendation may come with the following findings:

1. There are currently no County ordinances that allow for the transfer of units to the proposed zone.

## Exhibits

Exhibit A: Concept plan.  
Exhibit B: Narrative  
Exhibit C: Building Elevations





**Weber County Zoning Map Amendment Application**  
**Hidden Hollow Townhomes**  
July 2021

**Property Owner Contact Information**

Property Owner(s)

W & G Folkman Combined LLC

Mailing Address

2184 W. Azzurro Circle,  
St. George UT 84770

**Authorized Representative Contact Information**

Todd Strong

801-510-2465

[mrstrong2u@comcast.net](mailto:mrstrong2u@comcast.net)

**Property Information**

Project Name

Hidden Hollow Townhomes

Current Zoning

F40

Proposed Zoning

FR-3

Approximate Address

5793 N Powder Mountain Road, Eden Utah

Land Serial Number(s)

Parcel #220060006)

Total Acreage

37

Current Use

Vacant Land

Proposed Use

Townhomes, Open Space

## **PROJECT NARRATIVE**

### **Property History**

In the late 1960's and early 1970's, Alvin Cobabe developed the historical family ranch and grazing land into Powder Mountain ski resort. This parcel is the last remaining, family-owned ground from the original Powder Mountain Ski Resort development.

### **Current Property Condition**

The property is vacant mountain land zoned F40. It is surrounded on 3 sides by SMHG LANDCO LLC (Summit Group) owners of Powder Mountain Ski Resort, zoned DRR-1. It is bound on the West side by USA. The property is bisected by State Road 158, Powder Mountain Road. There are several parcels of land in Powder Mountain Ski Resort above the subject parcel and in Wolf Creek Resort below the subject parcel zoned FR3 and improved with townhomes.

### **Describing the project vision**

Hidden Hollow Townhomes will have typical Mountain West architecture, similar to townhomes found in Park City, Jackson Hole and Sun Valley, affordable to in-state residents. They will be primary residences, seasonal vacation homes and vacation rental homes. We envision a combination of buildings of townhomes and condominiums with a priority to significantly minimize the development footprint and environmental impact on the mountain. The buildings will be located in a private, gated community on the West side of Powder Mountain Road with the possibility of ski in/ski out from the Sundown ski lift. It is estimated that 90% of the property will remain as open ground in its natural state. In cooperation with Weber County, employee housing at a reduced price will be included.

### **How is the change in compliance with the General Plan?**

The General Plan for the upper Ogden Valley supports resort communities and clustered development in identified areas such as the Powder Mountain Resort. It is located in a designated recreation area, has no impact on Viewsheds, preserves all Dark Sky programs, preserves open space for both wildlife and outdoor activities and supports Ogden Valley's history as a ski destination for residents and tourists.

#### **-Powder Mountain Water & Sewer Improvement District (June 10, 2021)**

The Powder Mountain Water & Sewer Improvement District Board informed us that that we can annex into the district and that sewer, with capacity, is available in Powder Mountain Road. Water service would be available if we develop a source of water. We will either drill a well or tap a spring on our property or in conjunction with the improvement district.

#### **-UDOT Region 1 (May 24, 2021)**

Pre-Application meeting with UDOT Region 1 reviewed our project, explained we would need a left-hand turn lane and any retaining wall construction needs to be engineered by a UDOT approved engineer. Line of sight safety distance was acceptable. Pre-application is completed.

#### **-Transferrable Development Rights (TDR's)**

Ogden City Corp. and a private landowner have agreed sell us the required amount of TDR's for this project.

**Why should the present zoning be changed to allow this proposal?**

The FR-3 zone was written for areas located in and around ski resorts, where residential uses of apartment clusters or condo-tels adjacent to and in conjunction with major recreational resorts, recreation areas and facilities in the mountain areas of Weber County on the basis that such medium density multiple-family housing is an integral and normal part of a recreational resort complex catering to the needs of both tourists and permanent home ownership. This zone is intended to be used in mountain locations in areas associated with major recreational resorts. This zone has been used successfully for townhomes on several parcels in the immediate area, in Powder Mountain Ski Resort and Wolf Creek Resort.

**How is the change in the public interest?**

This change supports the Ogden Valley General Plan and is consistent with previous concepts employed in Powder Mountain Ski Resort and Wolf Creek Resort. The development plan will provide local housing, amenities and outdoor activities to the community. It will provide much needed affordable housing to employees of Powder Mountain Ski Resort.

**What conditions and circumstances have taken place in the general area since the General Plan was adopted to warrant such a change?**

Powder Mountain Ski Resort has continued to expand with a DDR-1 zoning, using the FR-3 zone as a companion zoning for housing needs in the immediate area. The demand for affordable housing lower on the mountain, within the Powder Mountain recreation area, has increased with the recent growth. When the General Plan was adopted, it was anticipated that this piece would not be developed for many years, that has changed.

**How does this proposal promote the health, safety and welfare of the inhabitants of Weber County?** This proposal will provide residential and recreational opportunities that will be used by the local community. All county land use codes, building regulations, will be observed and followed.

## Hidden Hollow Building Style and Architecture





# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### APPLICATION INFORMATION

**Application Request:** A public hearing for consideration of a requested rezone located at approximately 4708 E 2650 N, Eden.  
**Agenda Date:** Tuesday, November 30, 2021  
**Applicant:** Jeffrey Allan  
**File Number:** ZMA 2021-07

### PROPERTY INFORMATION

**Approximate Address:** 4708 E 2650 N, Eden.  
**Zoning:** The area to be rezoned is currently AV-3  
**Existing Land Use:** Vacant Commercial  
**Proposed Land Use:** Vacant Commercial

### ADJACENT LAND USE

**North:** Snowcrest Jr High School  
**East:** Residential  
**South:** Commercial  
**West:** Agricultural

### STAFF INFORMATION

**Report Presenter:** Steve Burton  
sburton@webercountyutah.gov  
801-399-8766  
**Report Reviewer:** CE

## Applicable Ordinances

§ 102-5: Rezoning Procedures

§ 104-20: CV-2

## Legislative Decisions

This is a legislative matter. When the Planning Commission is acting on a legislative matter, it is acting to make a recommendation to the Board of County Commissioners. There is wide discretion in making legislative decisions. Criteria for recommendations on a legislative matter suggest compatibility with the general plan, existing ordinances, and best practices. Examples of legislative actions are general plan, zoning map, and land use code amendments.

## Summary

This item is an applicant-driven request to amend the zoning map from AV-3 to CV-2. This purpose of this application is to extend the CV-2 zoning to the eastern edge of parcel 22-040-0030 and to extend the CV-2 zoning slightly north on the same parcel. Parcel 22-040-0030 received a rezoning approval from AV-3 to CV-2 on September 22, 2020. The purpose is also to amend the site plan and architectural standards required by the development agreement.



This proposal also includes a request to amend the development agreement that was approved as part of the rezone in September of 2020. The proposed changes to the development agreement include removing the requirement for a dumpster, eliminating the provision for roofs to develop a natural patina over time, and allowing the sheer wall massing to be 100 feet instead of 25 feet. The proposal also eliminates page 20 of the development agreement (see below for image of page 20)

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**Attachment C**  
**Design and Materials Palette**



Architectural design elements of each building shall reflect the elements in these images. The use of trim to create the z-bar effect or x-bar effect as shown on the doors in these images shall be used on the doors of the storage units. Projected overhanging eaves on roof-gables shall be constructed, and four-cornered cupolas shall be constructed along the top gable of horizontal rooflines that are 25 feet or greater. Horizontal lines shall be broken every 25 feet with stylistic, architectural, and/or material differences to provide visual diversity for the exterior of buildings.



The developer is also proposing to eliminate the requirement to use “five inch reclaimed solid wood wall paneling” on page 21 of the development agreement.

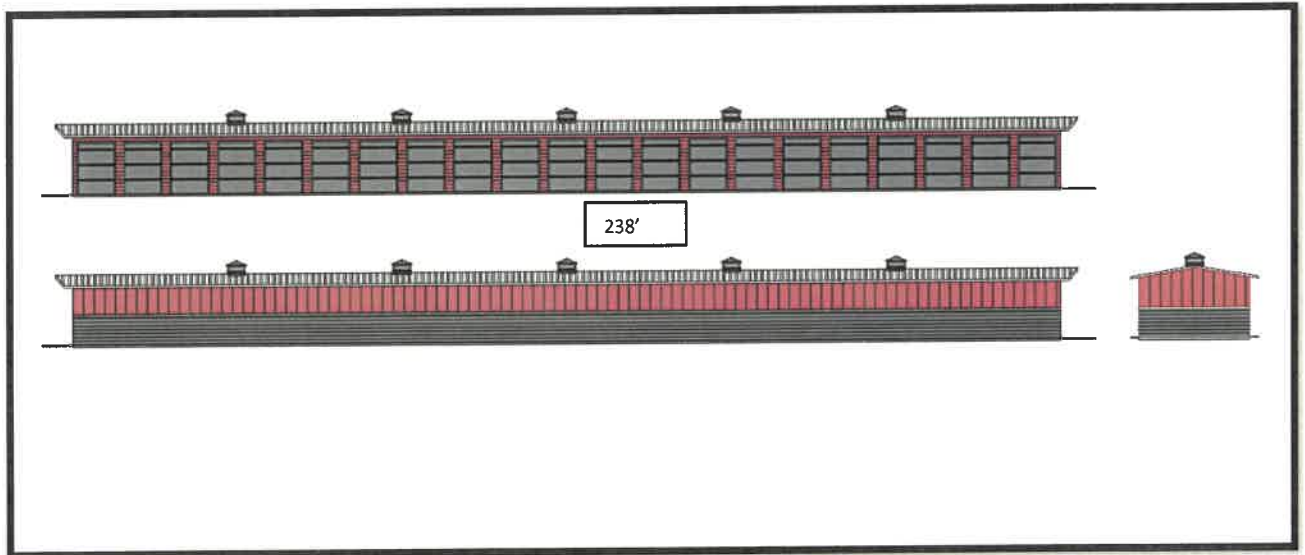
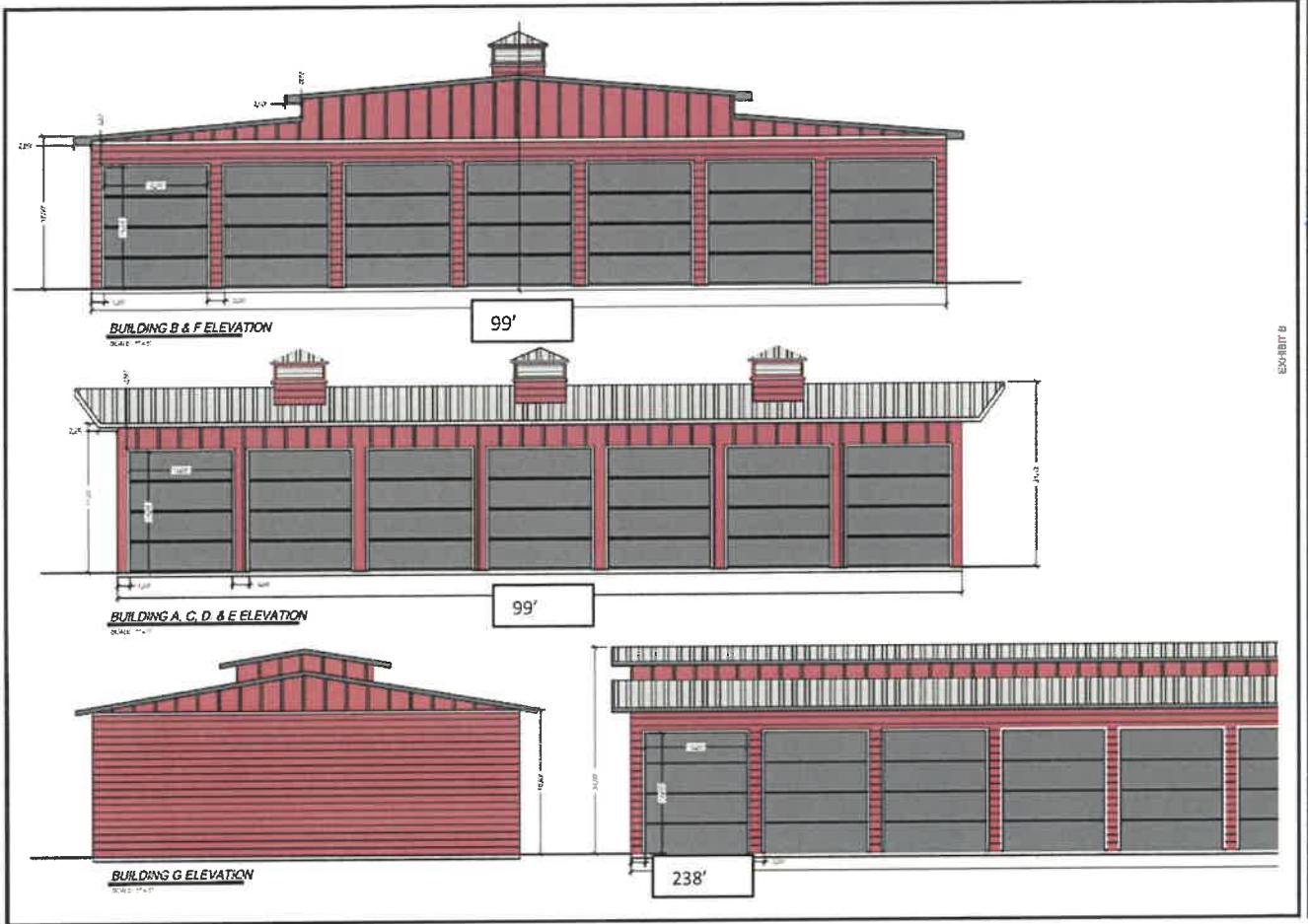
ER 3110220 PG 21 OF 21

**Attachment C (Cont.)**  
**Design and Materials Palette**



Siding of each building shall be five (5) inch reclaimed solid wood wall paneling. Substitute material of similar visual quality, as determined by the Weber County Planning Division Director, may be used.

The following is what the developer has submitted for architectural requirements, proposing to allow metal siding instead of wood.

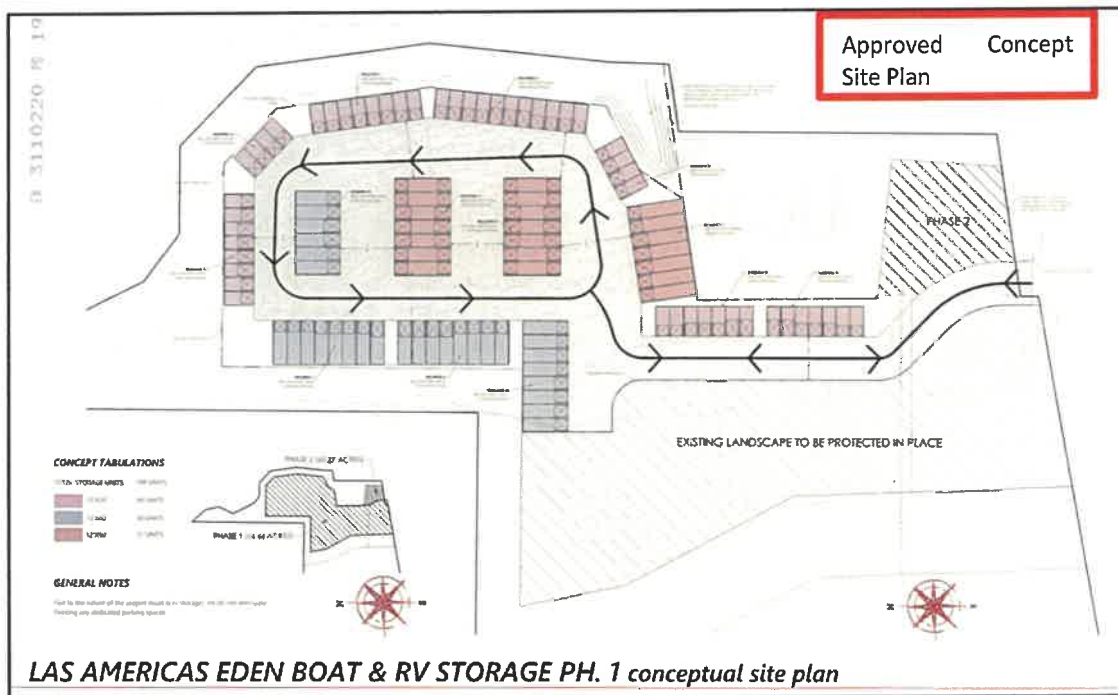


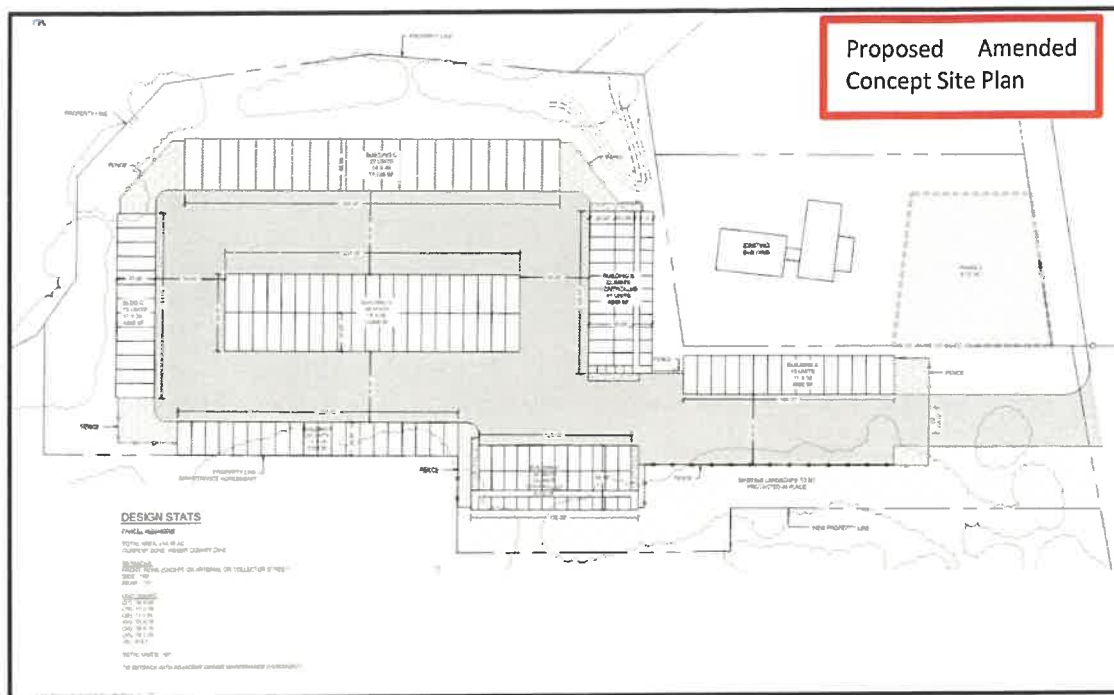
The developer is also proposing to eliminate the “fair share intersection improvements” section and to add language that requires the developer to pay the roadway impact fee as development occurs.

**7. Development Standards.**

- 7.1. **Use of Property.** The use of the property shall be limited to indoor storage units only. Indoor storage units is a use allowed in the CV-2 zone by conditional use permit. The parties agree that the conditional use requirements have been met with the execution of this development agreement. Therefore, the County, by use of its legislative authority, designates the use of indoor storage units on the Project Site as a permitted use, subject to the requirements of this agreement.
- 7.2. **Fair Share Intersection Improvements.** The Developer shall provide their roughly proportionate share of the cost of improvements to the intersection of Highway 162 and Clark Lane. When required by the County Engineer, a detailed study shall be provided by the Developer that establishes a traffic demand threshold that will trigger the need to improve the intersection, and will establish what the developer's roughly proportionate share of traffic demand is. This share shall equal the Developer's share of the cost of improving the intersection.
- 7.3. **Improvements of Clark Lane.** The Developer shall be responsible for installing curb, gutter, and a 10-foot wide sidewalk in the public right-of-way along the Developer's property frontage of Clark Lane. At the time of subdivision of the property, the Developer agrees to dedicate the

Lastly, the proposed amendment includes a revised conceptual site plan, showing 188 total units compared to the original site plan that allowed for 100 units.





## Policy Analysis

The architectural standards that were written into the original development agreement were meant to provide an aesthetic to the surrounding area that masked the industrial nature and architecture of storage units. The building massing requirements and barn architecture with wood materials fits into the Eden Village described in the Ogden Valley General Plan. Planning staff recommends that all of the architectural requirements of the development agreement remain in place.

Regarding the proposal to expand the zoning to the property boundary and amend the site plan, staff feels that these proposed changes should be approved, as long as the architectural requirements of the development agreement remain in place.

Regarding the proposal to eliminate the "Fair Share of Intersection Improvements" section, it should be noted that the storage units may have a significant impact on this specific intersection, and that roadway impact fees apply to entire street systems, not necessarily this specific intersection. Staff feels that the "Fair Share of Intersection Improvements" should remain in the development agreement.

Regarding the proposal to remove the required dumpster from the development agreement, staff is comfortable with this proposal because there should be no need for a dumpster if users are loading, unloading, and storing personal items in the storage units.

## County Rezoning Procedure

The applicant has submitted a complete application as outlined in the County's rezoning procedures in Sec 102-5. The land use code lists the following as considerations when the Planning Commission makes a recommendation to the County Commission:

*A decision to amend the zoning map is a matter committed to the legislative discretion of the County Commission and is not controlled by any one standard. However, in making an amendment, the County Commission and Planning Commission are encouraged to consider the following factors, among other factors they deem relevant:*

- a. *Whether the proposed amendment is consistent with goals, objectives, and policies of the County's general plan.*

- b. Whether the proposed amendment is compatible with the overall character of existing development in the vicinity of the subject property.*
- c. The extent to which the proposed amendment may adversely affect adjacent property.*
- d. The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, wastewater, and refuse collection.*
- e. Whether the proposed rezone can be developed in a manner that will not substantially degrade natural/ecological resources or sensitive lands.*
- f. Whether proposed traffic mitigation plans will prevent transportation corridors from diminishing below an acceptable level of service.*

## Staff Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the County Commission for the proposed rezone of approximately 5 acres located at approximately 4708 E 2650 N, Eden, from AV-3 to CV-2, provided the architectural, massing, and material requirements listed in the original development agreement are not changed, and that the "fair share of intersection improvements" section remains unchanged in the development agreement.

Additionally, staff recommends that the site plan be amended as proposed and added as part of the development agreement, provided the architectural requirements, including the requirement to have horizontal lines be broken every 25 feet, be implemented as specified on page 20 of the original development agreement. Staff recommends approval of the proposal to remove the requirement to provide a dumpster on site.

This recommendation may come with the following findings:

1. The use helps support the 2016 Ogden Valley General Plan by providing for a market demand in a location outside an intended village area.
2. The use offers a design theme recommended by the 2016 Ogden Valley General Plan.
3. The proposal will offer an economic benefit to the community in a well-planned manner that offers relatively minimal community impacts in comparison to other economic development possibilities.
4. The impacts of the development on adjacent landowners is proposed to be appropriately minimized by use of natural and built buffers, vegetation, and architectural styling.
5. The development will enhance the overall health, safety, and welfare of the community.

## Exhibits

Exhibit A: Application.

Exhibit B: Original Development Agreement

Exhibit C: Proposed amended site plan

Exhibit D: Proposed amended building elevations.

## Change Summary

The items below are change requests to the original development agreement between Weber County, UTAH and Levanta LLC and Las Americas Resources LLC Dated December 15,2020. All items not addressed are to remain the same. The items crossed out in red are proposed items to be removed. Text in blue is content to be added/replaced.

**2.4 Developer.** “Developer” means ~~Lavanta L.L.C. and Las Americas Resources L.L.C.~~ Eden Storage, LLC, or any of their Assignees as provided in Section 11 of this agreement.

### 7. Development Standards

**7.2 Fair Share Intersection Improvements.** ~~—The Developer shall provide their roughly proportionate share of the cost of improvements to the intersection of Highway 162 and Clark Lane. When required by the County Engineer, a detailed study shall be provided by the Developer that establishes a traffic demand threshold that will trigger the need to improve the intersection, and will establish what the developer’s roughly proportionate share of traffic demand is. This share shall equal the Developer’s share of the cost of improving the intersection.—~~ The Developer shall pay the roadway impact fee in lieu of the “Fair Share Intersection Improvement.

**7.3 Improvements of Clark Lane.** The Developer shall be responsible for installing curb, gutter, and a 10-foot wide sidewalk in the public right-of-way along the Developer’s property frontage of Clark Lane at the time of development. At the time of subdivision of the property, the Developer agrees to dedicate the future extension of Clark Lane (2650 N Street) to Weber County. Weber County agrees that this extension will not be of a width greater than is reasonably necessary given the current right-of-way width and alignment where it stubs the property. The Developer agrees that the dedication will extend from the current western end of the County’s ownership, westward until it stubs the adjacent parcel.

**7.13 Solid waste and refuse.** ~~At least on 6 yard or larger dumpster shall be placed onsite in a permanent location. The dumpster location shall be completely hidden from view when viewed from adjoining properties and streets. The use of an eight foot masonry wall, buildings, or both, may be employed to provide three sides of the dumpsters enclosure. The fourth side shall have a solid metal gate(s).~~ No Dumpster to be installed.

**7.14 Art and Culture Contribution.** Ask Charlie background

**7.18 Architectural standards.** The Developer agrees that the buildings will be designed to resemble historic barns typical for the area. The buildings shall offer a reasonable amount of agrarian stylistic detail as generally illustrated in Attachment C(see updated attachment C): Design and Materials Palette. The Developer further agrees as follows:

**7.18.1. Roof Materials.** The roofs of the buildings will be of non-reflective material ~~that can develop a natural patina over time.~~

**7.18.2. Sheer wall Massing.** The buildings will be designed in a manner that wall plains will be broken every ~~50 feet~~ 100 feet, both vertically and horizontally.

**7.18.3. Roof Pitches.** The center gable of the barn shall be of a pitch no less than ~~4:12~~ 2:12.

**10.2 - Rezone reversion – remove this item**

Attachment A – Revised Site Plan to replace old one

Attachment B – Materials and concept

Attachment C – replace new metes and bounds description and site plan for entire property to be rezoned commercial



NO.	DATE	DESCRIPTION



SITE PLAN  
CONCEPT A

SHEET DESCRIPTION

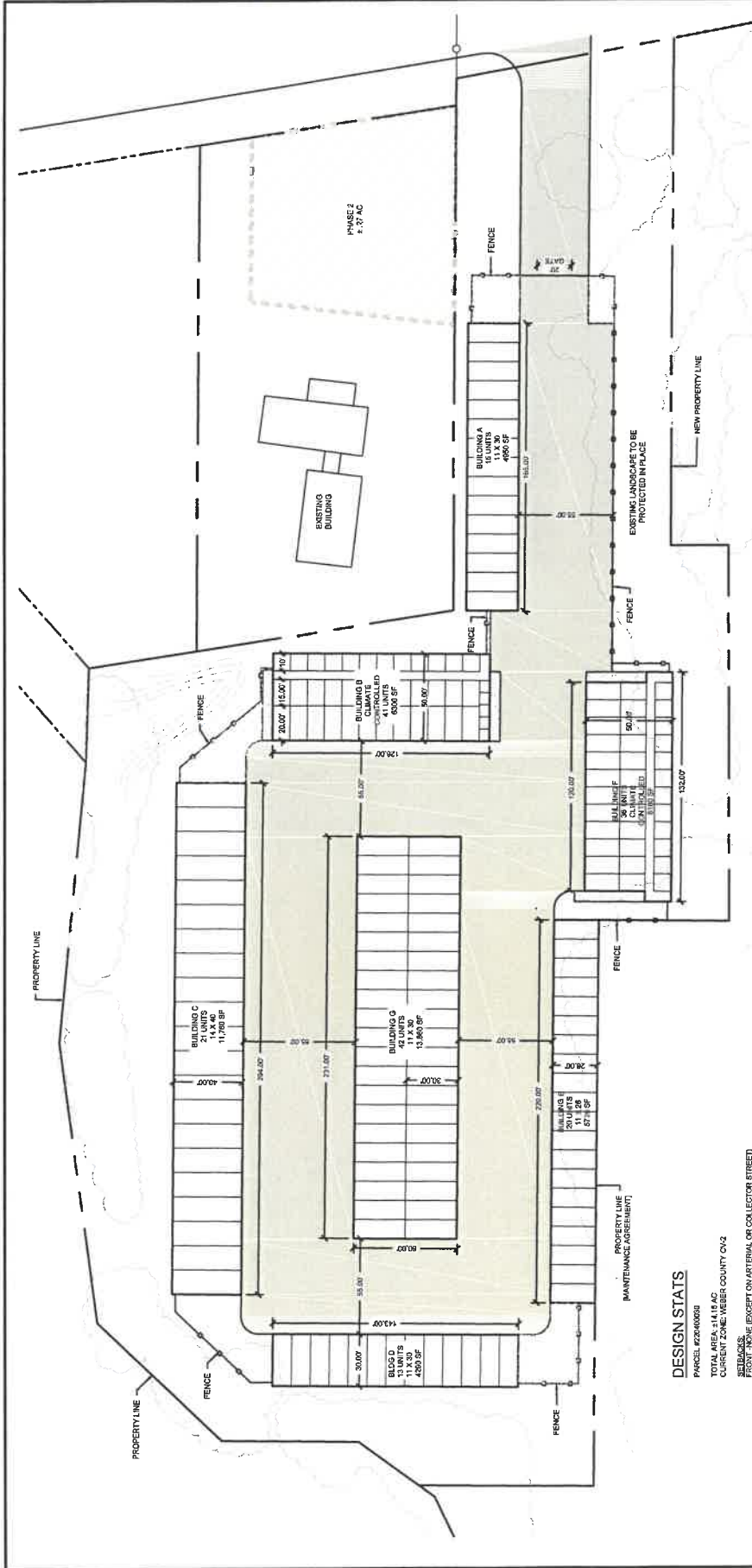
EDEN STORAGE UNITS  
4708 E 2650 N  
EDEN, UTAH



Client: Landmark  
Engineer:  
Survey:  
Scale:  
95 Cliff Center Rd.  
Suite 101  
Salt Lake City, UT  
84119

DATE: 21 MAY 2021  
SCALE: 1" = 30'  
DESIGNER: JOHAN  
CHECKER: L. ANDERSON  
APPROVAL: W. PALMERSON  
PROJECT NUMBER: 210141H  
SHEET: 210141H

**CONC**



**DESIGN STATS**  
 PARCEL #202000204  
 TOTAL AREA: 31.45 AC  
 ZONING: COMMERCIAL  
 CARRIER ZONE: WEBER COUNTY CV2  
 FRONT YARD SETBACK: 20 FT  
 FRONT YARD SETBACK (EXCEPT ON ARTERIAL OR COLLECTOR STREET): 10 FT  
 SIDE YARD SETBACK: 5 FT  
 REAR YARD SETBACK: 10 FT  
 TOTAL UNITS: 189  
 7'V SETBACK WITH ADJACENT OWNER (MAINTENANCE AGREEMENT)

WRANGLERS JETT SUBDIVISION

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, THE SOUTHEAST QUARTER OF SECTION 28, THE NORTHEAST QUARTER OF SECTION 33 AND THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SURVEYOR'S CERTIFICATE

In accordance with Section 86-2-1 of the Utah Code, I, Eric D. Perkins, do hereby certify that the foregoing plat is a true and correct copy of the original plat as shown to me by the person or persons claiming to be the owner of the land described herein and that the same is in accordance with the original plat as shown to me by the person or persons claiming to be the owner of the land described herein and that the same is in accordance with the original plat as shown to me by the person or persons claiming to be the owner of the land described herein.



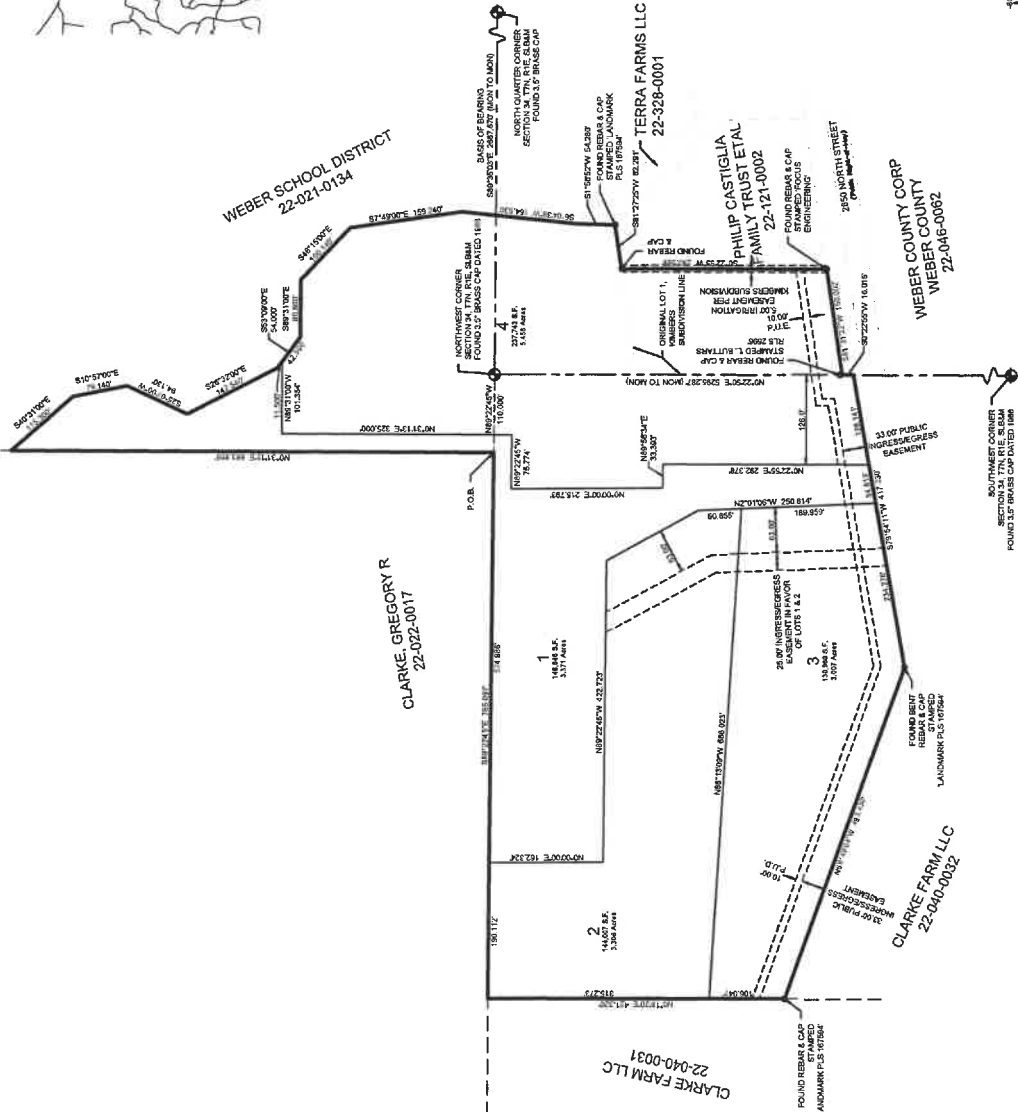
Eric D. Perkins  
Professional Land Surveyor  
Utah Commission No. 10000000

BOUNDARY DESCRIPTION:

XXXXXX



VICINITY MAP  
N.T.S.



OWNER'S DEDICATION

The undersigned owners of the herein described tract of land, hereby do hereby dedicate to the public the herein described tract of land, to be used as a public utility service line and drainage, as true to the plat as shown to me by the person or persons claiming to be the owner of the land described herein and that the same is in accordance with the original plat as shown to me by the person or persons claiming to be the owner of the land described herein.

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

On this \_\_\_\_\_ day of \_\_\_\_\_, 2020, personally appeared before me \_\_\_\_\_ who being by me duly sworn that she is the \_\_\_\_\_ of the \_\_\_\_\_, a Utah limited liability company, and that the foregoing instrument is her true and correct act and deed, and that she is authorized by the board of directors of the company to execute this instrument, and that the company is a limited liability company as defined by the Utah Limited Liability Company Act, Utah Code, Title 18, Chapter 1, and that the company is a limited liability company as defined by the Utah Limited Liability Company Act, Utah Code, Title 18, Chapter 1, and that the company is a limited liability company as defined by the Utah Limited Liability Company Act, Utah Code, Title 18, Chapter 1.

Notary Public Commissioned in Utah  
XXXXXX

LEGEND  
- - - - - EASEMENT  
- - - - - SUBDIVISION LINE  
- - - - - ADJACENT PROPERTY LINE  
- - - - - SUBDIVISION TO BE MADE



Table with columns for Fee, Party No., Date, and Remarks. Includes a section for 'WRANGLERS JETT SUBDIVISION' with a note about the surveyor's certificate.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

Table with columns for 'APPROVED AS TO FORM', 'APPROVED AS TO MERIT', and 'APPROVED AS TO SUBSTANCE'. Includes fields for 'DATE' and 'BY'.

PERIGEE CONSULTING & SURVEYING logo and contact information.

DEVELOPED BY: XXXXX

DESCRIPTION	
NO.	
DATE	



**BUILDINGS A - G  
ELEVATION**

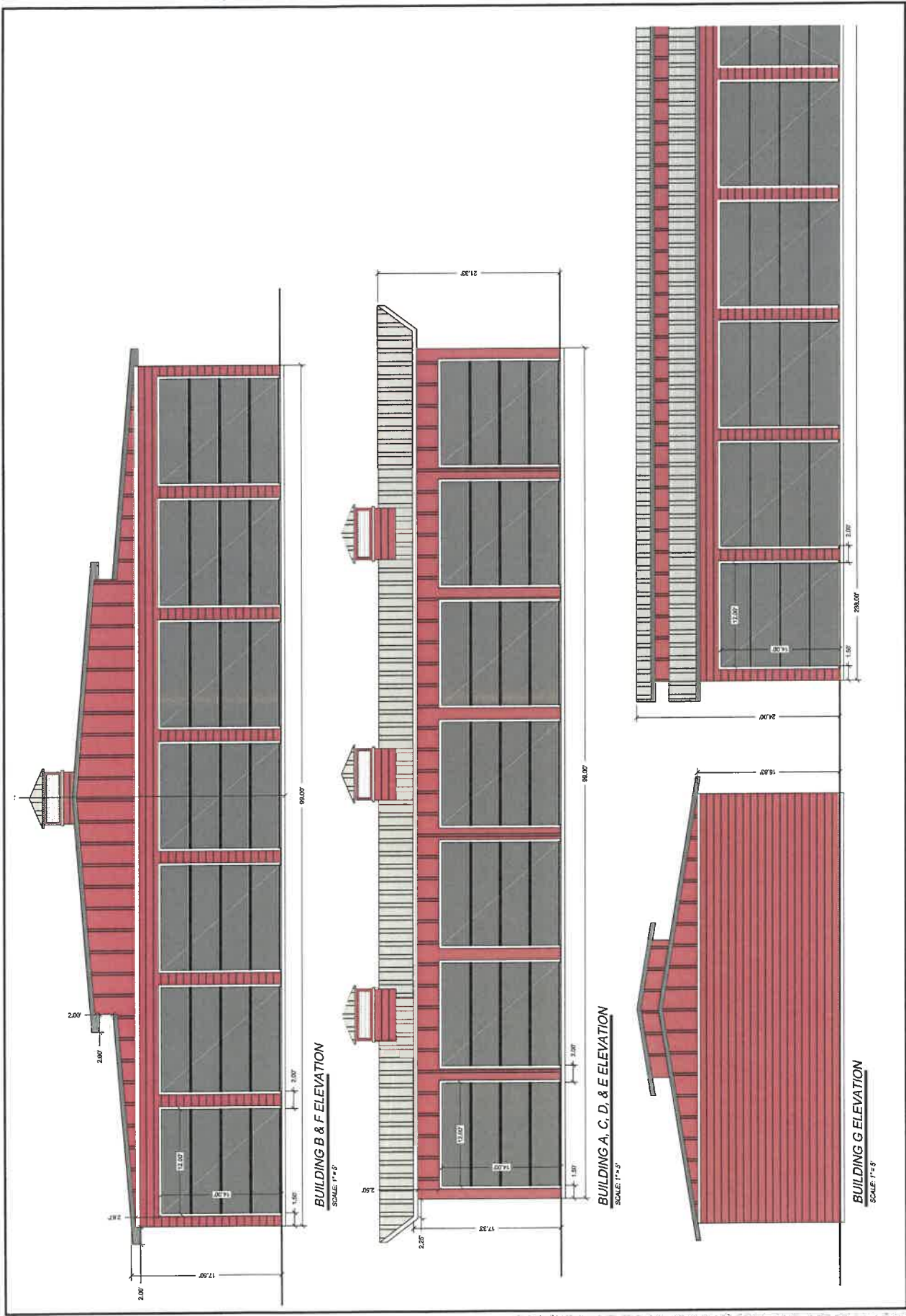
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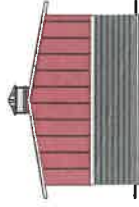
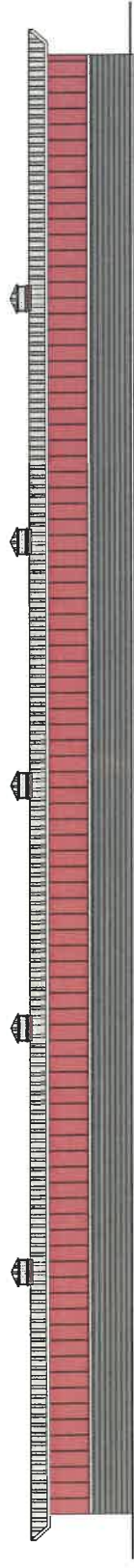
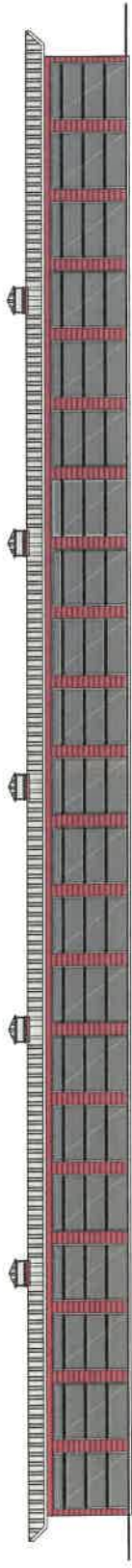
**EDEN STORAGE UNITS**  
EDEN, UTAH  
4708 E 2650 N



Chebe Landmark  
ARCHITECTS  
95 Cliff Lane Rd.  
Tropic, UT 84601  
PHONE: 435.713.0999  
DATE: 21 MAY 2021  
SCALE: 1" = 5'  
DESIGNER: J. J. JORDAN  
CHECKED BY: L. ANDERSON  
PROJECT NUMBER: 18-001  
SHEET: 2 OF 12

**CONC**







\*W3110220\*

EH 3110220 PG 1 OF 21  
LEANN H KILTS, WEBER COUNTY RECORDER  
15-DEC-20 3:23 PM FEE \$1.00 DEP DC  
REC FOR: WEBER COUNTY PLANNING

**DEVELOPMENT AGREEMENT**

**Between**

**WEBER COUNTY, UTAH**

**and**

**LEVANTA L.L.C. and LAS AMERICAS RESOURCES L.L.C.**

**List of Attachments**

Attachment A: Project Area Legal Description and Graphic Depiction

Attachment B: Proposed Site Layout

Attachment C: Design and Materials Palette

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## DEVELOPMENT AGREEMENT

### Eden Boat and RV Storage

THIS DEVELOPMENT AGREEMENT ("Agreement") is entered into by and between Weber County, Utah ("County") and Levanta L.L.C./Las Americas Resources L.L.C. ("Developer"), known together herein as the "Parties."

### RECITALS

**WHEREAS**, The Developer desires and intends to develop an indoor storage unit facility (the "Project") in the unincorporated area of Weber County known as Eden. Key components of the Project include completely enclosed buildings designed to appear agrarian in nature, which will be used for indoor storage for items such as vehicles, trailers, and household items; driveways and drive access to each storage unit; and landscaping;

**WHEREAS**, Levanta L.L.C. and Las Americas Resources L.L.C. are engaged in a joint venture to develop the Project, and together are known herein as the Developer;

**WHEREAS**, The Developer's objective is to develop a storage unit facility that incorporates building and site designs that complement the character of the community and is financially successful;

**WHEREAS**, The County's objective is to approve only development that supports and advances the health, safety, and welfare of the community, as generally described in the general plan and as otherwise determined appropriate by the Board of County Commissioners; and

**WHEREAS**, The Project will be located on land referred to herein as the "Project Site". The Project Site is as more specifically described in **Attachment A: Project Area Legal Description and Graphic Depiction**. A site plan showing the general location and layout of the Project is contained in **Attachment B Proposed Site Layout**, and architectural and design detail is contained in **Attachment C: Design and Materials Palette**.

**NOW, THEREFORE**, in consideration of the recitals (which are incorporated into the Agreement by this reference) and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

### AGREEMENT

#### **1. Effective Date, Expiration, Termination.**

- 1.1. **Effective Date.** The Effective Date of this Agreement is the last date upon which it is signed by any of the Parties hereto.
- 1.2. **Expiration.** This Agreement shall be in full force and effect until (10) years from the Effective Date of this Agreement, at which point this Agreement shall expire.
- 1.3. **Termination.** This Agreement may be terminated by mutual written agreement of the Parties to this Agreement or terminated pursuant to Section 10 of this Agreement. This Agreement automatically terminates, without notice, in the following circumstances:
  - 1.3.1. The term of this Agreement expires;
  - 1.3.2. The Project is abandoned or the use is discontinued, as provided for by Weber County Code Chapter 108-12; or

- 1.3.3. The Developer defaults on any provision of this Agreement and the default is not resolved as specified in Section 13 of this Agreement.

## 2. Definitions and Interpretation.

For purposes of this Agreement, the following terms, phrases, words, and their derivations shall have the meaning given herein where capitalized; words not defined herein shall have their ordinary and common meaning. When not inconsistent with the context, words used in the present tense include the future, words in the plural number include the singular number, words in the singular number include the plural number, and the use of any gender shall be applicable to all genders whenever the sense requires. The words "shall" and "will" are mandatory and the word "may" is permissive. References to governmental entities (whether persons or entities) refer to those entities or their successors in authority. If specific provisions of law referred to herein are renumbered, then the reference shall be read to refer to the renumbered provision.

- 2.1. **Agreement.** "Agreement" means this Development Agreement between County and Developer, approved by the Board of County Commissioners, and executed by the undersigned.
- 2.2. **County.** "County" means Weber County, Utah.
- 2.3. **Construction Buildout Period.** "Construction Buildout Period" has the meaning set forth in Section 7.19 of this Agreement.
- 2.4. **Developer.** "Developer" means Levanta L.L.C. and Las Americas Resources L.L.C., or any of their Assignees as provided in Section 11 of this Agreement.
- 2.5. **Development Standards.** "Development Standards" means the requirements stated in Section 7 of this Agreement.
- 2.6. **Effective Date.** "Effective Date" has the meaning set forth in Section 1 of this Agreement.
- 2.7. **Force Majeure Event.** "Force Majeure Event" means any event beyond the reasonable control of the affected Party that directly prevents or delays the performance by such Party of any obligation arising under this Agreement, including an event that is within one or more of the following categories: condemnation; expropriation; invasion; plague; drought; landslide; tornado; hurricane; tsunami; flood; lightning; earthquake; fire; explosion; epidemic; quarantine; war (declared or undeclared), terrorism or other armed conflict; material physical damage to the Project caused by third Parties; riot or similar civil disturbance or commotion; other acts of God; acts of the public enemy; blockade; insurrection, riot or revolution; sabotage or vandalism; embargoes; and, actions of a governmental or judicial authority.
- 2.8. **Parties.** "Parties" means the Developer and the County.
- 2.9. **Project.** "Project" means the Eden Boat and RV Storage facility as set forth in the exhibits hereto.
- 2.10. **Project Site.** "Project Site" means the land area on which the Project will actually be sited, as more specifically described in Attachment A: Project Area Legal Description and Graphic Depiction.
- 2.11. **Routine and Uncontested.** "Routine and Uncontested" means simple and germane to the Project or Project Site, having very little chance of effect on the character of the area, and not anticipated to generate concern from the public.
- 2.12. **Substantial Completion.** "Substantial Completion" means the Project is constructed, installed, and a valid business license has been obtained from the county.
- 2.13. **Transferee.** A party to which the Project is transferred or assigned in part or in whole. "Assignee"



shall also mean the same.

- 2.14. **Vested Laws.** "Vested Laws" means the land use laws, Part II of the Weber County Code, in effect at the time of execution of this Agreement.

3. **Omitted**

4. **Project Description.**

The Project is an indoor storage unit facility.

5. **Project Location and Illustration.**

The Project is as described herein, and illustrated in Attachment B: Proposed Site Layout and Attachment C: Proposed Site Layout – Parcel Boundary Overlay, modified as necessary in accordance with this Agreement's Development Standards.

6. **Vesting.**

- 6.1. Except as otherwise noted, this Agreement vests the Project and Project Site to the existing Vested Laws until the expiration or termination of this Agreement, or until the Developer has fully developed the Project as proposed herein, whichever is earlier.
- 6.2. Developer agrees that the intent of this vesting is to offer a predictable set of development standards related to the development and establishment of the use. To that effect, Developer agrees that if the County modifies its laws in the future to specifically regulate the use or any other related performance measure, after the time provided in Section 6.1, the Project shall be subject to the new laws. This shall not affect any established nonconforming rights of the use, location, method of construction, acreage requirement, setback requirement, or height requirement of any building, structure, or internal site roadway, as may be applicable.

7. **Development Standards.**

- 7.1. **Use of Property.** The use of the property shall be limited to indoor storage units only. Indoor storage units is a use allowed in the CV-2 zone by conditional use permit. The parties agree that the conditional use requirements have been met with the execution of this development agreement. Therefore, the County, by use of its legislative authority, designates the use of indoor storage units on the Project Site as a permitted use, subject to the requirements of this agreement.
- 7.2. **Fair Share Intersection Improvements.** The Developer shall provide their roughly proportionate share of the cost of improvements to the intersection of Highway 162 and Clark Lane. When required by the County Engineer, a detailed study shall be provided by the Developer that establishes a traffic demand threshold that will trigger the need to improve the intersection, and will establish what the developer's roughly proportionate share of traffic demand is. This share shall equal the Developer's share of the cost of improving the intersection.
- 7.3. **Improvements of Clark Lane.** The Developer shall be responsible for installing curb, gutter, and a 10-foot wide sidewalk in the public right-of-way along the Developer's property frontage of Clark Lane. At the time of subdivision of the property, the Developer agrees to dedicate the

future extension of Clark Lane (2650 N. Street) to Weber County. Weber County agrees that this extension will not be of a width greater than is reasonably necessary given the current right-of-way width and alignment where it stubs into the property. The Developer agrees that the dedication will extend from the current western end of the County's ownership, westward until it stubs to the adjacent parcel.

- 7.4. **Waste water disposal.** No grey or black water dumping shall be allowed on the site without a dump station that meets all requisite standards and regulations for the location.
- 7.5. **Waste water disposal and watercraft decontamination signage.** A sign shall be posted in a conspicuous manner at the entrance of the facility that notifies renters that there are no wastewater dumping facilities onsite. The sign shall also notify patrons that watercraft must be drained, decontaminated, and cleaned prior to entry of the site.
- 7.6. **No effect on drinking water.** The use shall not have any negative effect on the drinking water quality of the nearby wells of Eden Water Works, or any other culinary water source in the area.
  - 7.6.1. **Work with Eden Water Works.** In the event that Eden Waterworks or any other potentially affected culinary water authority determines that ground water infiltration from the site is not capable of being diluted and/or filtered to drinking water standards adopted by the Utah Department of Environmental Quality before it enters a drinking water source, then the Developer bears the burden of constructing remediating drainage facilities prior to conducting any further business onsite or allowing any further access to the site.
  - 7.6.2. **Threat to Drinking Water.** If groundwater infiltration onsite constitutes an immediate threat to a drinking water source, all activities onsite, including access, shall cease until the threat is remediated. This remediation shall be conducted by the Developer, at no expense to the culinary water authority.
  - 7.6.3. **Scientific Evidence Gathering.** The County recognizes and agrees that the culinary water authority bears the burden of demonstrating through scientifically reproducible means, based on site specific evidence gathering, including, if necessary, subterranean hydrologic or hydrogeologic exploration, that the soil types and/or drainage methods on the site are incapable of protecting the drinking water source(s). The Developer agrees to allow the culinary water authority reasonable access to the site to conduct the investigations or inspections they may deem necessary to maintain a clean drinking water source. If onsite subterranean investigations are conducted prior to initiation of construction, the Parties recognize and agree that it is the culinary water authority's responsibility to bear the evidence-gathering expenses, and the parties agree that the Developer shall bear the cost to restore the evidence-gathering site(s). If the onsite subterranean investigations are desired after initiation of construction, and if the Developer has notified the culinary water authority two weeks prior to initiation of construction, the Parties agree that it is the culinary water authority's responsibility to bear the full cost of evidence gathering. The Developer and the culinary water authority may make alternative agreements to achieve these ends, as they deem mutually beneficial.
- 7.7. **Drainage facilities.** The areas of the site accessible to motor vehicles or watercraft shall be drained away from the river corridor. The drainage facility shall be constructed with an oil-grit separator if required by the County Engineer. Best management practices for invasive mussel mitigation shall be employed, if necessary, as may be recommended by the appropriate State Department of Natural Resources personnel.
- 7.8. **Fire protection.** If deemed necessary by the local fire authority, each building shall be fire-

sprinkled such that each unit has at least one sprinkler head, or as may be otherwise required by the fire code or the local fire authority.

**7.8.1.** If a fire hydrant is not already within an acceptable proximity from the site, as determined by the local fire authority, the Developer shall install a water trunk line no less than 8 inches in diameter, or as otherwise specified by the local fire authority or County Engineer, from the nearest hydrant to the site, and shall install a hydrant onsite or in the adjoining public right-of-way, as may be deemed appropriate by the local fire authority.

- 7.9. Site obscuring berm or wall.** An eight-foot earthen berm shall be constructed between the adjacent residential uses and the storage facility. Atop the berm, the Developer shall plant four eight-foot conifer trees of a species native to the Wasatch Mountains, and shall plant three deciduous trees of a native species well known for shade producing capabilities. The deciduous trees shall have a caliper of at least two inches when planted and the conifer trees shall be at least eight feet tall when planted. The trees shall be provided with an automatic irrigation system to support healthy growth. An eight-foot wall may be constructed in lieu of a berm. The vegetation required herein may be located on either side of the wall.
- 7.10. Riparian corridor and tree-line protection.** Buildings and other improvements shall be setback from the highwater line of the North Fork River, as provided by County Code, and the Developer shall maintain the riparian corridor in good health. As specified in the landscape plan, the Developer shall protect existing trees that line the perimeter of the project area, with special attention to protecting the trees along the river corridor. The Developer shall take a photo inventory of existing trees, identify those that will be removed, and submit the inventory to planning staff prior to any site work. For every tree that will be removed to make way for the development, another of the same species shall be planted on the site.
- 7.11. Noxious weeds.** The storage unit Developer shall be responsible for regular monitoring and removal of noxious weeds on the site.
- 7.12. Outdoor storage.** There shall be no outdoor storage permitted on the site.
- 7.13. Solid waste and refuse.** At least one 6-yard or larger dumpster shall be placed onsite in a permanent location. The dumpster location shall be completely hidden from view when viewed from adjoining properties and streets. The use of an eight-foot masonry wall, buildings, or both, may be employed to provide three sides of the dumpster's enclosure. The fourth side shall have a solid metal gate(s).
- 7.14. Art and Culture Contribution.** The Developer agrees to pursue opportunities with the Ogden Valley Starry Night organization to provide possible façade space for a future Starry Night mural.
- 7.15. Phasing.** The Parties agree that no phasing plan has been approved as a part of this agreement. Additional phases will require considerations at the time they are proposed.
- 7.16. Floodplain Development.** The Developer agrees to maintain compliance with floodplain development requirements.
- 7.17. Trail Corridor Preservation.** Prior to commencement of construction, the Developer agrees to convey a trail easement to the County that runs along the east side of the North Fork River, west of drive approach and buildings shown on the site plan. The easement shall be located along an alignment that will provide optimal convenience for future trail building, and shall be of sufficient width to provide for a 10-foot paved pathway with appropriate shoulders to support the pathway width.
- 7.18. Architectural standards.** The Developer agrees that the buildings will be designed to

resemble historic barns typical for the area. The buildings shall offer a reasonable amount of agrarian stylistic detail as generally illustrated in Attachment C: Design and Materials Palette. The Developer further agrees as follows:

- 7.18.1. **Roof Materials.** The roofs of the buildings will be of a nonreflective metal material that can develop a natural patina over time.
  - 7.18.2. **Sheer-wall Massing.** The buildings will be designed in a manner that wall plains will be broken every 50 feet, both vertically and horizontally.
  - 7.18.3. **Roof Pitches.** The center gable of the barn roofs shall be of a pitch no less than 4:12.
- 7.19. **Construction Staging and Construction Buildout Period.** Developer agrees there will be no construction staging outside of the Project Site boundaries, except what is reasonable and necessary for the construction of the driveway access or to fulfill any requirements of law. County agrees that Developer is allowed to construct the Project such that Substantial Completion is achieved no later than 5 years from the date that all permits necessary to construct the Project are obtained in final form, but in no event later than 6 years from the Effective Date of this Agreement (the "Construction Buildout Period"), unless construction is delayed by a Force Majeure Event.
- 7.20. **Sanitary Sewer and Culinary Water.** Developer agrees to satisfy the requirements of the Weber Morgan Health Department, if any, regarding sanitary sewer and culinary water provisions for the site.
- 7.21. **Permits.** Developer agrees to obtain all necessary federal, state, and local permits required prior to any work onsite, including but not limited to building permits, storm water pollution prevention permits, right-of-way encroachment permits, and Army Corps of Engineers permits.

## 8. Amendments and Revisions.

This Agreement may be amended by mutual agreement of the Parties only if the amendment is in writing and approved and signed by Developer and County (an "Amendment"). The following sections specify what Project changes can be undertaken without the need for amendment of the Development Agreement, and what changes require Amendment to this Agreement.

- 8.1. **Project Facility Repair, Maintenance and Replacement.** Developer shall be permitted to repair, maintain and replace the Project and its components consistent with the terms of this Agreement without amending the Agreement.
- 8.2. **Authorized Changes, Enlargements, or Alterations.** As set forth below, County staff may review and approve certain minor changes, enlargements or adjustments ("Changes") to the Project in their respective administrative capacities. The following types of Changes are considered minor, provided that no such Changes shall directly or indirectly result in significantly greater impacts than those contemplated in the approval of this Agreement.
  - 8.2.1. **Changes Necessary to Comply with Other Laws.** Any resulting changes as a consequence of obtaining or complying with a federal, state, or local permit or approval; provided that the changes are routine and uncontested and the application thereof does not materially affect the County's original intent, findings, or conditions on the Project in a manner that would have likely resulted in a different decision on this Agreement, as determined by the Planning Director.
  - 8.2.2. **De Minimis Changes.** Other de minimis changes requested by the Developer, which are reasonably consistent with the intent of this agreement and the CV-2 rezone, and

are routine and uncontested.

9. Omitted.

10. Termination.

In addition to what is stated in paragraph 1.3, the following termination provisions apply:

- 10.1. **Developer's Option.** Developer shall have the option, in its sole discretion, to terminate this Agreement prior to Substantial Completion of the Project, provided such termination will not relieve the Developer of any obligation owed the County under the terms of this Agreement and outstanding at the time of such termination. If it elects to terminate this Agreement, Developer shall submit a Notice to this effect to County at least thirty (30) days prior to such termination.
- 10.2. **Zoning Reversion.** The Parties agree that this agreement and the rezone of the property from the AV-3 zone to the CV-2 zone are inextricably related. The Parties agree that the termination of this agreement shall result in the reversion of the Property back to the rights, standards, and regulations of the AV-3 zone. At that time, any established nonconforming right may continue as provided by law, but no new right may be established unless it complies with the AV-3 zone.

11. General Provisions.

- 11.1. **Assignability.** The rights and responsibilities of Developer under this Agreement may be assigned as provided herein.
- 11.1.1. **Total Assignment of Project and Project Site.** The Developer, as the landowner of the Project Site at the time of the execution of this agreement, may sell, convey, reassign, or transfer the Project Site or Project to another entity at any time, provided any division of land, if applicable, complies with County Laws.
- 11.1.2. **Partial Assignment of Project Site.** A partial assignment of the Project Site is prohibited under this Agreement. The Project Site shall be continuously owned under the ownership of Developer and assignees, until this agreement is Terminated.
- 11.2. **Binding Effect.** This Agreement shall be binding upon the Parties and their respective heirs, successors (by merger, consolidation or otherwise) and assigns, devisees, administrators, representatives, lessees and all other persons or entities acquiring all or any portion of the Project, any lot, parcel or any portion thereof within the Project Site, or any interest therein, whether by sale, operation of law, devise, or in any manner whatsoever.
- 11.3. **Utah Law.** This Agreement is entered into under the laws of the State of Utah, and the Parties hereto intend that Utah law shall apply to the interpretation hereof.
- 11.4. **Authority.** Each Party represents and warrants that it has the respective power and authority, and is duly authorized, to enter into this Agreement on the terms and conditions herein stated, and to execute, deliver and perform its obligations under this Agreement.
- 11.5. **Duty to Act Reasonably and in Good Faith.** Unless otherwise expressly provided, each party shall act reasonably in giving consent, approval, or taking any other action under this Agreement. The Parties agree that each of them shall at all times act in good faith in order to carry out the terms of this Agreement and each of them covenants that it will not at any time voluntarily engage in any actions which frustrate the purpose and intent of the Parties to develop the Project in conformity with the terms and conditions specified in this Agreement.
- 11.6. **Communication and Coordination.** The Parties understand and agree that the process

described in this Agreement depends upon timely and open communication and cooperation between the Parties. The Parties agree to use best efforts to communicate regarding issues, changes, or problems that arise in the performance of the rights, duties and obligations hereunder as early as possible in the process, and not wait for explicit due dates or deadlines. Each party agrees to work cooperatively and in good faith toward resolution of any such issues.

- 11.7. **Force Majeure Event.** A Force Majeure Event shall be promptly addressed by Developer. County agrees to offer a reasonable period for Developer to cure the effect of the event given the extent of the effect on the Project and the Developer's ability to redress the effect.

## 12. Notices.

- 12.1. **Written Notice.** Any notice, demand, or other communication ("Notice") given under this Agreement shall be in writing and given personally or by registered or certified mail (return receipt requested). A courtesy copy of the Notice may be sent by facsimile transmission or email.
- 12.2. **Addresses.** Notices shall be given to the Parties at their addresses set forth as follows:

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**If to the County:**

Weber County Commission  
2380 Washington Blvd, Ste #360  
Ogden, UT 84401

**With copies to:**

Weber County Attorney  
2380 Washington BLVD, Ste. #230  
Ogden, UT 84401

Weber County Planning Director  
2380 Washington BLVD, Ste. #240  
Ogden, UT 84401

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**If to Developer:**

Levanta, L.L.C.  
11148 Zealand Ave N  
Champlin, MN 55316

**And:**

Las Americas Resources L.L.C  
68 N 700 W  
Kaysville UT 84037

- 12.3. **Notice Effect.** Notice by hand delivery shall be effective upon receipt. If deposited in the mail, notice shall be deemed delivered forty-eight (48) hours after deposited. Any party at any time by Notice to the other party may designate a different address or person to which such notice or communication shall be given.

## 13. Default and Remedies.

- 13.1. **Failure to Perform Period.** No Party shall be in default under this Agreement unless it has failed to perform as required under this Agreement for a period of thirty (30) days after written notice of default from the other Party. Each notice of default shall specify the nature of the alleged default and the manner in which the default may be cured satisfactorily. If the nature of the alleged default is such that it cannot be reasonably cured within the thirty (30) day period,

then commencement of the cure within such time period and the diligent prosecution to completion of the cure shall be deemed a cure of the alleged default.

**13.2. Remedies.** The Developer's failure to comply with this agreement constitutes a violation of the Land Use Code of Weber County, and is subject to the enforcement provisions and remedies thereof. In addition, the County may withhold any permits from the Project Site.

**13.3. Dispute Resolution Process.**

**13.3.1. Conference.** In the event of any dispute relating to this Agreement, the Parties, upon the request of either Party, shall meet within seven (7) calendar days to confer and seek to resolve the dispute ("Conference"). The Conference shall be attended by the following parties: (a) the County shall send department director(s) and County employees and contractors with information relating to the dispute, and (b) Developer shall send Developer's representative and any consultant(s) with technical information or expertise related to the dispute. The Parties shall, in good faith, endeavor to resolve their disputes through the Conference.

**13.3.2. Mediation.** If this Conference process does not resolve the dispute within the 7-day Conference period, the Parties shall in good faith submit the matter to mediation. The Parties shall send the same types of representatives to mediation as specified for the "Conference" process. Additionally, the Parties shall have representatives present at the mediation with full authority to make a settlement within the range of terms being discussed, should settlement be deemed prudent. The mediation shall take place within 45 days of the Parties submitting the dispute to mediation. If the dispute is not able to be resolved through the mediation process in the 45-day period, the Parties may pursue their legal remedies in accordance with Utah and local law.

**14. Entire Agreement.**

This Agreement, together with all Attachments hereto, constitutes the entire Agreement between the Parties with respect to the subject matter of this Agreement. This agreement is specifically intended by the Parties to supersede all prior agreements between them, whether written or oral.

**15. Counterparts.**

This Agreement may be executed in several counterparts and all so executed shall constitute one agreement binding on all the parties, notwithstanding that each of the parties are not signatory to the original or the same counterpart. Further, executed copies of this Agreement delivered by facsimile or by e-mail shall be deemed originally signed copies of this Agreement.

**IN WITNESS HEREOF**, the Parties hereto, having been duly authorized, have executed this Agreement.

(Signatures on following pages)



SIGNATORIES

"County"

Weber County, a body corporate and politic of the State of Utah

By: Gage Froerer

Gage Froerer  
Chair, Weber County Commission

DATE: September 22, 2020

ATTEST: Ricky D. Hatch

Ricky D. Hatch, CPA  
Weber County Clerk/Auditor

"Developer"  
Levanta, L.L.C.

By: [Signature]  
Print Name: KODY B. HOKKER  
Title: MEMBER MANAGER

DATE: OCTOBER 2, 2020

**Developer Acknowledgment  
(Corporation)**

State Of MINNESOTA )

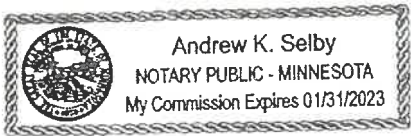
)ss.

County Of HENNEPIN )

On the 2<sup>nd</sup> day of OCTOBER, 2020, personally appeared before me KODY B. HOKKER, who being by me duly sworn, did say that he is the MEMBER/MAN. of LEVANTA, LLC, a limited liability company, and that the foregoing instrument was signed in behalf of said corporation by authority of its members or its articles of organization; and said person acknowledged to me that said limited liability company executed the same.

My Commission Expires:

[Signature]  
Notary Public, residing in



"Developer"  
Las Americas Resources L.L.C.

By: [Signature]

Print Name: Rob Edwards

Title: MEMBER/ MANAGER

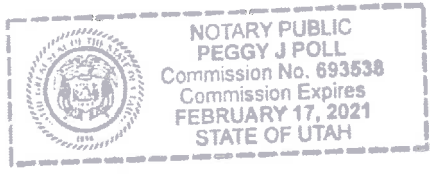
DATE: 10/08/20

Developer Acknowledgment  
(Corporation)

State Of Utah )

)ss.

County Of Davis )



On the 08 day of October, 2020 personally appeared before me Robert Edwards, who being by me duly sworn, did say that he is the member/manager of Las Americas Resources LLC, a limited liability company, and that the foregoing instrument was signed in behalf of said corporation by authority of its members or its articles of organization; and said person acknowledged to me that said limited liability company executed the same.

02/17/2021

My Commission Expires:

[Signature]  
Notary Public, residing in  
Davis County

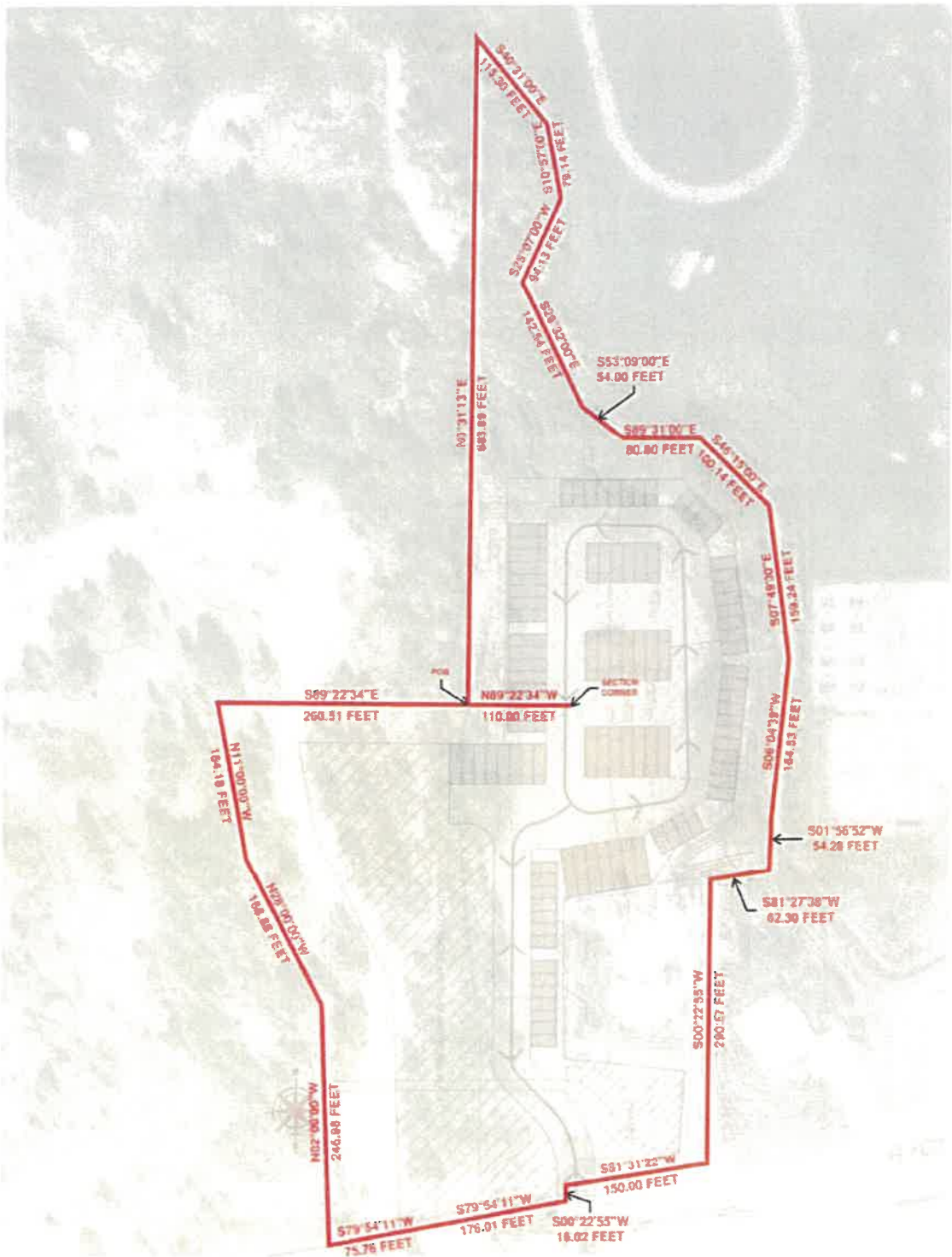
**Attachment A****Project Area Legal Description and Graphic Depiction**

All of Parcel #221210001, and the eastern part of Parcel #220400030 being more particularly described as follows:

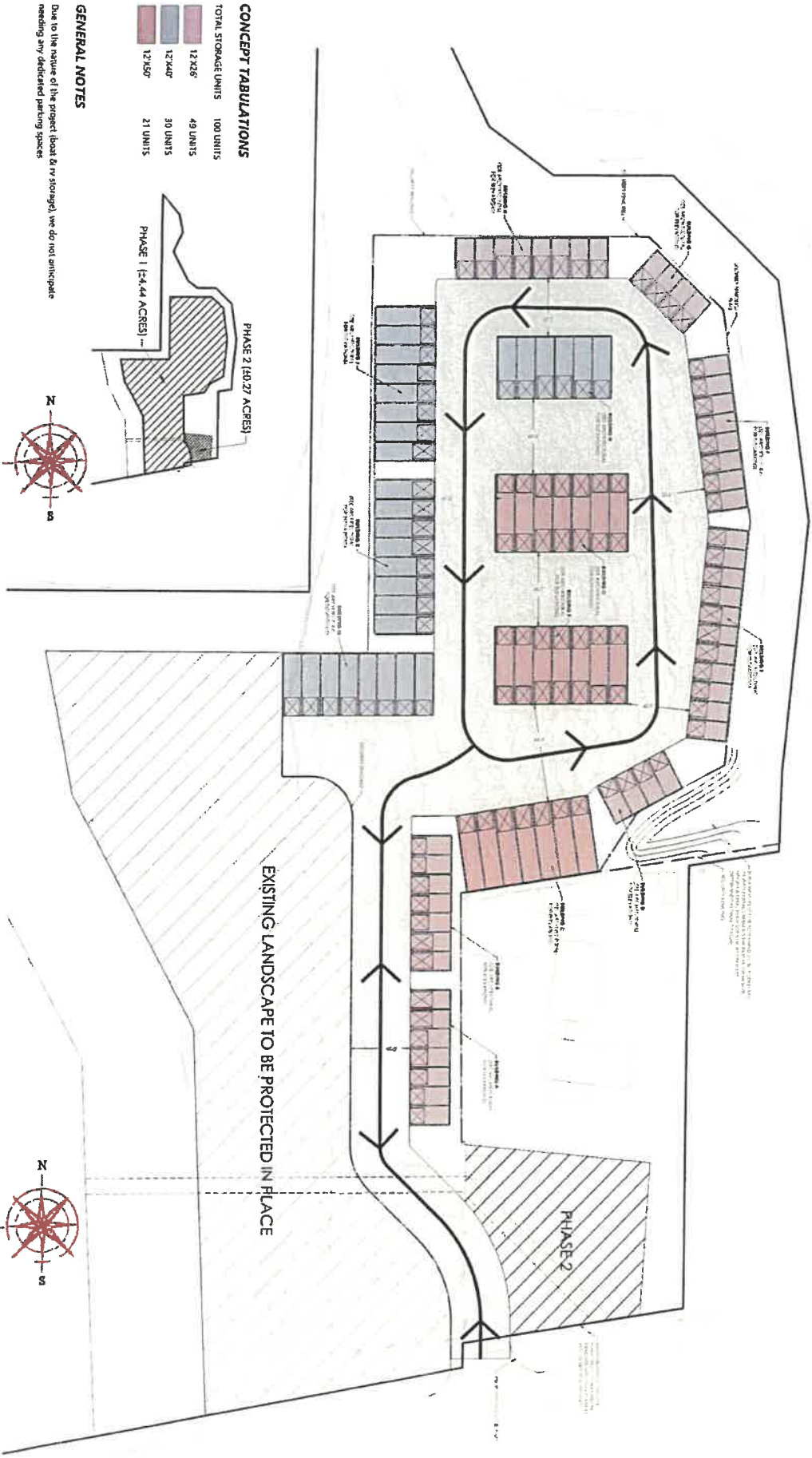
A portion of the SW1/4 of Section 27, the NW1/4 of Section 34, the NE1/4 of Section 33 & the SE1/4 of Section 28, Township 7 North, Range 1 East, Salt Lake Base and Meridian, more particularly described as follows:

Beginning at the Southeast Corner of that Real Property described in Deed Entry No. 1123214 of the Official Records of Weber County located N89°22'34"W along the Section line 110.00 feet from the Northeast Corner of Section 33, T7N, R1E, SLB&M; thence N00°31'13"E along said deed 683.89 feet to the Centerline of an irrigation ditch; thence along the centerline of said ditch the following 9 (nine) courses: 1) S40°31'00"E 115.30 feet; 2) S10°57'00"E 79.14 feet; 3) S25°07'00"W 94.13 feet; 4) S26°32'00"E 142.54 feet; 5) S53°09'00"E 54.00 feet; 6) S89°31'00"E 80.80 feet; 7) S46°15'00"E 100.14 feet; 8) S07°49'00"E 159.24 feet; 9) S06°04'39"W 164.53 feet to the Northernmost corner of Lot 1, MEL CLARK SUBDIVISION recorded as Entry No. 2708799, Book 76, Page 61 in the Office of the Weber County Recorder; thence S01°56'52"W along said plat 54.28 feet to the Northernmost corner of Lot 2, KIMBERS SUBDIVISION, according to the Official Plat recorded as Entry No. 1353660, Book 40, Page 22 in the Office of the Weber County Recorder; thence S81°27'38"W along said plat 62.30 feet to the Northeast Corner of Lot 1 of said KIMBERS SUBDIVISION; thence S00°22'55"W along said lot 290.57 feet to the North line of Clark Lane; thence S81°31'22"W along said street 150.00 feet; thence S00°22'55"W 16.02 feet; thence S79°54'11"W 176.01 feet; thence S79°54'11"W 75.76 feet; thence N02°00'00"W 246.98 feet; thence N28°00'00"W 168.88 feet; thence N11°00'00"W 164.18 feet to the Section line; thence S89°22'34"E along the Section line 260.51 feet to the point of beginning.

Attachment A (Cont.)  
Project Area Legal Description and Graphic Depiction



**Attachment B**  
Proposed Site Layout  
[On Following Page]



**CONCEPT TABULATIONS**

TOTAL STORAGE UNITS	100 UNITS
12'x26'	49 UNITS
12'x40'	30 UNITS
12'x50'	21 UNITS

**GENERAL NOTES**

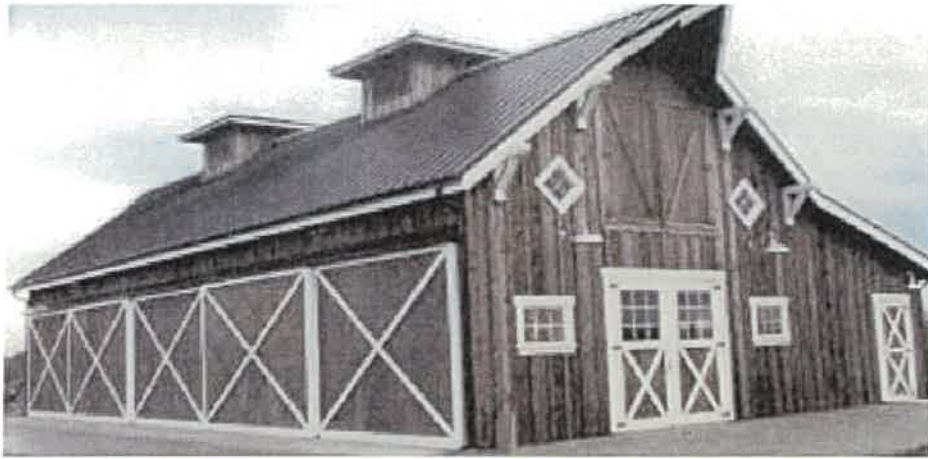
Due to the nature of the project (boat & rv storage), we do not anticipate needing any dedicated parking spaces.

**LAS AMERICAS EDEN BOAT & RV STORAGE PH. 1 conceptual site plan**

EDEN, WEBER COUNTY  
 6/17/2020  
 79-0203



**Attachment C**  
**Design and Materials Palette**



Architectural design elements of each building shall reflect the elements in these images. The use of trim to create the z-bar effect or x-bar effect as shown on the doors in these images shall be used on the doors of the storage units. Projected overhanging eaves on roof-gables shall be constructed, and four-cornered cupolas shall be constructed along the top gable of horizontal rooflines that are 25 feet or greater. Horizontal lines shall be broken every 25 feet with stylistic, architectural, and/or material differences to provide visual diversity for the exterior of buildings.



**Attachment C (Cont.)**  
**Design and Materials Palette**



Siding of each building shall be five (5) inch reclaimed solid wood wall paneling. Substitute material of similar visual quality, as determined by the Weber County Planning Division Director, may be used.



Eight (8) foot wall for visual screening shall be precast and textured as shown in the image, with vertical columns every eight feet. The top of each column shall have a cap. The top of the wall shall have a border. The wall shall be a muted earth-toned color, as defined by Weber County Code. Substitute material of similar visual quality, as determined by the Weber County Planning Division Director, may be used.



# Staff Report to the Ogden Valley Planning Commission

Weber County Planning Division

## Synopsis

### APPLICATION INFORMATION

**Application Request:** A public hearing for consideration of a county initiated text amendment, amending the Ogden Valley Stream Corridor Setbacks for certain subdivided lots.  
**Agenda Date:** Tuesday, November 30, 2021  
**Applicant:** Weber County  
**File Number:** ZTA 2021-09

### STAFF INFORMATION

**Report Presenter:** Steve Burton  
sburton@webercountyutah.gov  
801-399-8766  
**Report Reviewer:** CE

## Applicable Ordinances

§ 104-28: Ogden Valley Sensitive Lands Overlay Zone

## Legislative Decisions

This is a legislative matter. When the Planning Commission is acting on a legislative matter, it is acting to make a recommendation to the Board of County Commissioners. There is wide discretion in making legislative decisions. Criteria for recommendations on a legislative matter suggest compatibility with the general plan, existing ordinances, and best practices. Examples of legislative actions are general plan, zoning map, and land use code amendments.

## Summary

The Weber County Stream Corridor ordinance was first approved and adopted as part of the Land Use Code on December 30, 2005. There are currently no exemptions to these regulations for lots that were legally platted prior to December 30, 2005. The proposed ordinance amendment will allow lots that were platted with building envelopes or buildable areas prior to January 1, 2006 to be exempt from the stream corridor setbacks listed in the ordinance.

## Policy Analysis

Over the past few years the County has received several applications for dwellings or accessory buildings on lots that have 'buildable areas' due to rivers or streams (seasonal and year-round) adjacent to the lot. The owners of such lots have submitted site plans that show the improvements within the lot's buildable area, but the stream corridor regulations adopted after the recording of the subdivision are more restrictive than the buildable area.

Under this proposed ordinance amendment, lots adjacent to streams or rivers that had designated buildable areas prior to the adoption of the stream corridor ordinance will be exempt from the stream and river corridor setback requirements.

*Lots platted prior to January 1, 2006 with designated buildable areas, building envelopes, or river or stream corridor setbacks shown on the subdivision plat, are exempt from the setback requirements of this chapter.*

## Staff Recommendation

Staff recommends that the Planning Commission forward a positive recommendation to the County Commission for the proposed text amendment.

This recommendation may come with the following findings:

1. The proposal will protect rivers and streams within the Ogden Valley while also allowing lot owners, whose lots were restricted by previous county stream and river setback requirements, to be able to develop their lots within the bounds of their buildable area or building envelope.
2. The proposal preserves private property rights on lots recognized previous county stream and river corridor requirements.